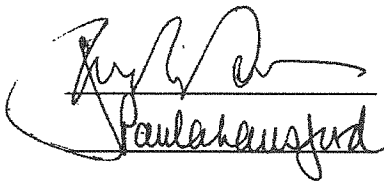


STATE OF SOUTH CAROLINA)
)
 COUNTY OF CHARLESTON) THIRD AMENDMENT TO MASTER DEED
) FOR EGRET'S WALK HORIZONTAL
) PROPERTY REGIME

WHEREAS, by its Master Deed dated September 22, 2004, and recorded September 29, 2004 in Book B-511, Page 108 in the Charleston County RMC Office (the "Master Deed"), John Wieland Homes and Neighborhoods of the Carolinas, Inc., a Georgia corporation (the "Developer") created and established on the property described therein, Egret's Walk Horizontal Property Regime ("Regime"). The Master Deed has been amended by instruments recorded in Book N-522, Page 536 and Book ~~530~~, Page ~~506~~ in the RMC Office for Charleston County, South Carolina. In the Master Deed, the Developer reserved the right to amend the Master Deed to submit the property comprising Stage 2 showing the completed and proposed improvements and:

1. The Master Deed is amended to include Exhibit "A", attached hereto and made a part hereof, which shows the legal description of the real property which is hereby submitted to the Egret's Walk Horizontal Property Regime as Stage 2. Exhibit "B" consists of a plat by Douglas L. DeWolff, SC PLS No. 17565, Southeastern Surveying of Charleston, Inc. dated 4-6-05, 2005 and entitled "A Plat and Plot Plan of Stage 2 Egret's Walk Horizontal Property Regime - Dunes West Units ~~39~~ 39 thru 44 ~~and 68-74~~". Owned by John Wieland Homes and Neighborhoods of the Carolinas, Located in the Town of Mount Pleasant, Charleston County, South Carolina.
2. The Master Deed is further amended by the inclusion of Exhibit "B" which shows and delineates the exact location of the real property comprising Stage 2 and the exact location and dimensions of Units 39 thru 44 and the proposed location and dimensions of Units 24 thru 38 and Units 68-74.
3. The Master Deed is amended to include Exhibit "C", attached hereto and made a part hereof, which delineates the Floor Plans and Elevations for Units 24 thru 44 and Units ~~68-74~~ 68 thru 74.
4. All other terms and provisions of the Master Deed shall remain in full force and effect.

IN WITNESS WHEREOF, the undersigned have set their hands and seals this 4th day of April, 2005.



Paula Hausford

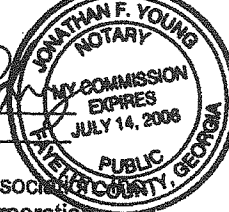
DEVELOPER:
 John Wieland Homes and Neighborhoods of the
 Carolinas, Inc., a Georgia Corporation

By: Andrea Lofstrand
 Andrea Lofstrand
 Assistant Secretary

STATE OF GEORGIA)
COUNTY OF Clayton)

The foregoing instrument was acknowledged before me this 4th day of April, 2005, by John Wieland Homes and Neighborhoods of the Carolines, Inc. a Georgia Corporation, by Andrea Lofstrand, Assistant Secretary.

Notary Public for _____
My Commission Expires: _____
ASSOCIATION:
Egret's Walk Condominium Association, Inc.
A South Carolina Nonprofit Corporation



[Signature]
Paula Hausford

BY: [Signature]
Frederick D. Evans, III
Secretary

STATE OF Georgia)
COUNTY OF Clayton)

The foregoing instrument was acknowledged before me this 4th day of April, 2005, by Egret's Walk Condominium Association, Inc., by Frederick D. Evans, III, Secretary.

Notary Public for _____
My Commission Expires: _____

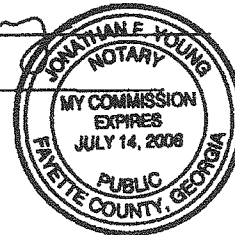


EXHIBIT "A"

ALL that piece, parcel, or lot of land, together with the improvements thereon situate, lying and being in the Town of Mt. Pleasant, Charleston County, South Carolina containing 3.508 ac. and 152,807 square feet, more or less, as shown on the Plat by Mark S. Busey, SCPLS NO. 10032 dated June 4, 2004 and recorded July 6, 2004 in Plat Book EH, Page 198 entitled "A Boundary Line Adjustment Plat of a 2.325 Acre Tract and a 3.509 Acre Tract Phase 2 Parcel 2, Dunes West owned by John Wieland Homes and Neighborhoods of S.C., Inc. located in the Town of Mt. Pleasant, Charleston County, South Carolina."

TMS NO.: 594-05-00-220

ALSO

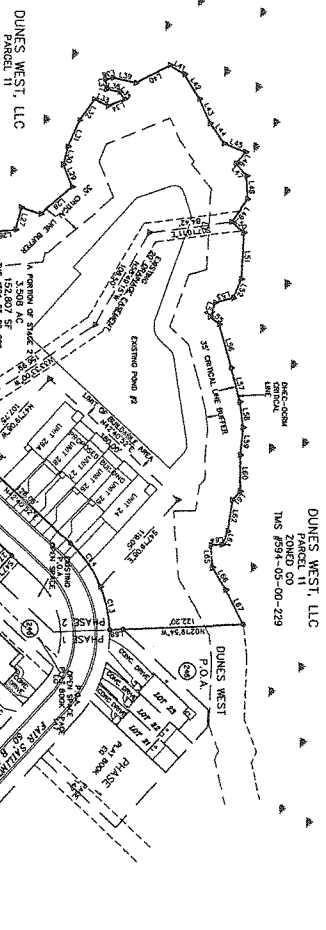
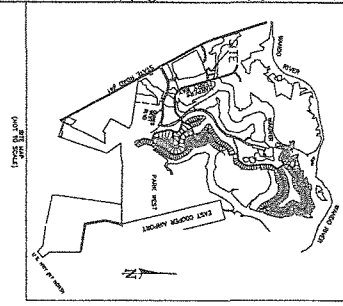
ALL that piece, parcel, or lot of land, situate, lying and being in the Town of Mt. Pleasant, Charleston County, South Carolina containing 2.154 Acres and 93,852 square feet, more or less, as shown on Plat by Mark S. Busey, dated February 4, 2004 and recorded in Plat Book EG, Page 937 entitled "A Boundary Line Adjustment Plat of Egret's Walk Townhouses Phase 2, Parcel 2, Dunes West owned by John Wieland Homes and Neighborhoods of S.C., Inc. located in the Town of Mt. Pleasant, Charleston County, South Carolina."

TMS NO.: 594-05-00-308

ALSO

ALL that piece, parcel, or lot of land, situate, lying and being in the Town of Mt. Pleasant, Charleston County, South Carolina containing 0.873 Acres and 38,069 square feet, more or less, as shown on Plat by Mark S. Busey, dated February 4, 2004 and recorded in Plat Book EG, Page 937 entitled "A Boundary Line Adjustment Plat of Egret's Walk Townhouses Phase 2 Parcel 2, Dunes West owned by John Wieland Homes and Neighborhoods of S.C., Inc. located in the Town of Mt. Pleasant, Charleston County, South Carolina."

TMS NO.: 594-05-00-312



NOTES:

1. THIS PLAT IS SUBJECT TO THE EXISTING BOUNDARY OF THE PLAT OF REGENT'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST ZONED O3 THIS 8991-03-00-228.
2. THE PLAT SHOWS THE BOUNDARY OF THE PLAT ARE ONLY THOSE WHICH ARE NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THE PLAT.
3. THE PLAT SHOWS THE BOUNDARY OF THE PLAT ARE ONLY THOSE WHICH ARE NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THE PLAT.
4. A PROPERTY IS ZONED DUNES WEST (MULTI-FAMILY RESIDENT) UNLESS OTHERWISE SHOWN ON THIS PLAT OR OTHERWISE SHOWN ON THE PLAT.
5. THE PLAT IS SUBJECT TO THE EXISTING BOUNDARY OF THE PLAT OF REGENT'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST ZONED O3 THIS 8991-03-00-228.
6. THE PLAT IS SUBJECT TO THE EXISTING BOUNDARY OF THE PLAT OF REGENT'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST ZONED O3 THIS 8991-03-00-228.

LEGEND:

REGULATORY:

- 100' - 100' - 100' - 100' - 100'
- 100' - 100' - 100' - 100' - 100'
- 100' - 100' - 100' - 100' - 100'

FOR MULTI-FAMILY ZONING:

- MINIMUM SETBACK: 10 FEET
- MINIMUM FRONT YARD SETBACK: 10 FEET
- MINIMUM SIDE YARD SETBACK: 5 FEET
- MINIMUM REAR YARD SETBACK: 5 FEET
- MINIMUM LOT AREA: 10,000 SQ. FT.
- MINIMUM BUILDING HEIGHT: 40 FEET
- MINIMUM BUILDING COVER: 45%

EXEMPTION:

- 1. LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63.

SEAL:

Charleston, South Carolina

GRAPHIC SCALE
1 inch = 50 ft.

Scale: 1" = 50'

1" = 50'

UNIT TABLE

UNIT	ACRES	SQ. FT.	PERCENTAGE OF TOTAL
UNIT 1	0.0000	0	0.00%
UNIT 2	0.0000	0	0.00%
UNIT 3	0.0000	0	0.00%
UNIT 4	0.0000	0	0.00%
UNIT 5	0.0000	0	0.00%
UNIT 6	0.0000	0	0.00%
UNIT 7	0.0000	0	0.00%
UNIT 8	0.0000	0	0.00%
UNIT 9	0.0000	0	0.00%
UNIT 10	0.0000	0	0.00%
UNIT 11	0.0000	0	0.00%
UNIT 12	0.0000	0	0.00%
UNIT 13	0.0000	0	0.00%
UNIT 14	0.0000	0	0.00%
UNIT 15	0.0000	0	0.00%
UNIT 16	0.0000	0	0.00%
UNIT 17	0.0000	0	0.00%
UNIT 18	0.0000	0	0.00%
UNIT 19	0.0000	0	0.00%
UNIT 20	0.0000	0	0.00%
UNIT 21	0.0000	0	0.00%
UNIT 22	0.0000	0	0.00%
UNIT 23	0.0000	0	0.00%
UNIT 24	0.0000	0	0.00%
UNIT 25	0.0000	0	0.00%
UNIT 26	0.0000	0	0.00%
UNIT 27	0.0000	0	0.00%
UNIT 28	0.0000	0	0.00%
UNIT 29	0.0000	0	0.00%
UNIT 30	0.0000	0	0.00%
UNIT 31	0.0000	0	0.00%
UNIT 32	0.0000	0	0.00%
UNIT 33	0.0000	0	0.00%
UNIT 34	0.0000	0	0.00%
UNIT 35	0.0000	0	0.00%
UNIT 36	0.0000	0	0.00%
UNIT 37	0.0000	0	0.00%
UNIT 38	0.0000	0	0.00%
UNIT 39	0.0000	0	0.00%
UNIT 40	0.0000	0	0.00%
UNIT 41	0.0000	0	0.00%
UNIT 42	0.0000	0	0.00%
UNIT 43	0.0000	0	0.00%
UNIT 44	0.0000	0	0.00%
UNIT 45	0.0000	0	0.00%
UNIT 46	0.0000	0	0.00%
UNIT 47	0.0000	0	0.00%
UNIT 48	0.0000	0	0.00%
UNIT 49	0.0000	0	0.00%
UNIT 50	0.0000	0	0.00%
UNIT 51	0.0000	0	0.00%
UNIT 52	0.0000	0	0.00%
UNIT 53	0.0000	0	0.00%
UNIT 54	0.0000	0	0.00%
UNIT 55	0.0000	0	0.00%
UNIT 56	0.0000	0	0.00%
UNIT 57	0.0000	0	0.00%
UNIT 58	0.0000	0	0.00%
UNIT 59	0.0000	0	0.00%
UNIT 60	0.0000	0	0.00%
UNIT 61	0.0000	0	0.00%
UNIT 62	0.0000	0	0.00%
UNIT 63	0.0000	0	0.00%

EXHIBIT B (Page 1)

A PLAT AND PLOT PLAN OF STAGE 2
 REGENT'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST
 UNITS 39 THRU 44
 OWNED BY JOHN WIELAND HOMES AND NEIGHBORHOODS OF THE CAROLINAS
 LOCATED IN THE TOWN OF MOUNT PLEASANT
 CHARLESTON COUNTY, SOUTH CAROLINA

SS I Southeastern Surveying of Charleston, Inc.
 147 Wappoo Creek Drive - Suite 102
 Charleston, South Carolina 29412
 843-795-9330 FAX: 795-2007 www.ses-sc.com

NO.	DATE	DESCRIPTION	BY

DATE: 4/10/23
 DRAWN BY:
 CHECKED BY:
 IN CHARGE:
 SHEET: 1 OF 2

CONTRACTOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Michael W. Williams
Michael W. Williams, S.E.
4/7/2005



LINE	TABLE	DESCRIPTION	AREA
1	A	WOOD PARK DRIVE	0.12
2	B	WOOD PARK DRIVE	0.12
3	C	WOOD PARK DRIVE	0.12
4	D	WOOD PARK DRIVE	0.12
5	E	WOOD PARK DRIVE	0.12
6	F	WOOD PARK DRIVE	0.12
7	G	WOOD PARK DRIVE	0.12
8	H	WOOD PARK DRIVE	0.12
9	I	WOOD PARK DRIVE	0.12
10	J	WOOD PARK DRIVE	0.12
11	K	WOOD PARK DRIVE	0.12
12	L	WOOD PARK DRIVE	0.12
13	M	WOOD PARK DRIVE	0.12
14	N	WOOD PARK DRIVE	0.12
15	O	WOOD PARK DRIVE	0.12
16	P	WOOD PARK DRIVE	0.12
17	Q	WOOD PARK DRIVE	0.12
18	R	WOOD PARK DRIVE	0.12
19	S	WOOD PARK DRIVE	0.12
20	T	WOOD PARK DRIVE	0.12
21	U	WOOD PARK DRIVE	0.12
22	V	WOOD PARK DRIVE	0.12
23	W	WOOD PARK DRIVE	0.12
24	X	WOOD PARK DRIVE	0.12
25	Y	WOOD PARK DRIVE	0.12
26	Z	WOOD PARK DRIVE	0.12

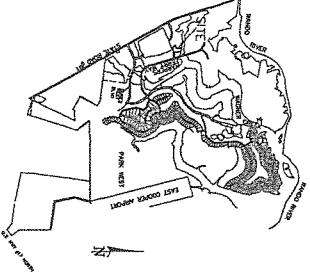
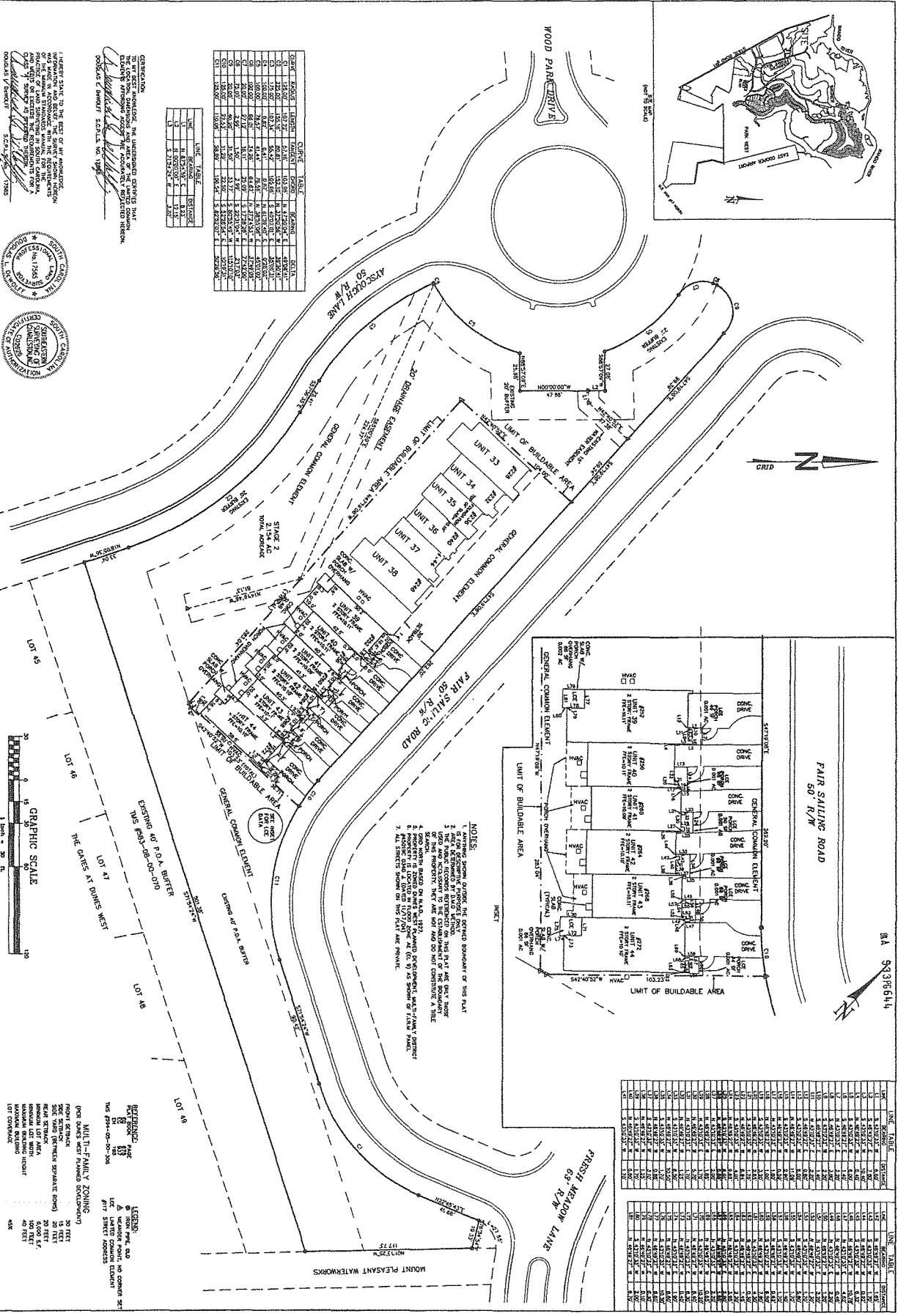


EXHIBIT B (Page 2)

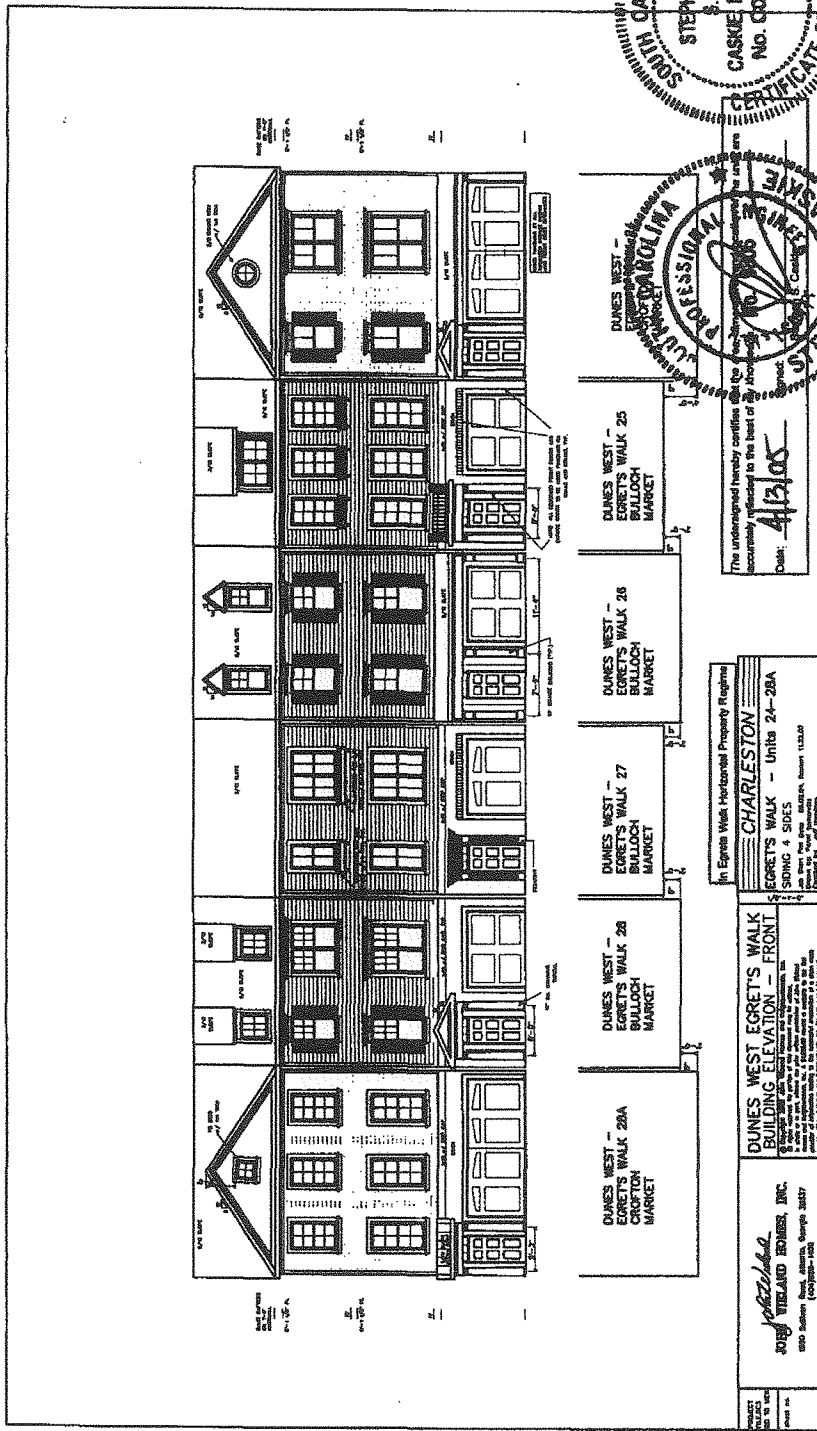


- NOTES:
1. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS NOT PART OF THIS PLAT.
 2. THIS PLAT IS A PRELIMINARY PLAT AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
 3. THE BOUNDARIES OF THIS PLAT ARE BASED ON THE SURVEY OF THE BOUNDARY OF THE TRACT DESCRIBED IN THE RECORDS OF THE COUNTY OF CHARLESTON, SOUTH CAROLINA.
 4. THE BOUNDARIES OF THIS PLAT ARE BASED ON THE SURVEY OF THE BOUNDARY OF THE TRACT DESCRIBED IN THE RECORDS OF THE COUNTY OF CHARLESTON, SOUTH CAROLINA.
 5. THE BOUNDARIES OF THIS PLAT ARE BASED ON THE SURVEY OF THE BOUNDARY OF THE TRACT DESCRIBED IN THE RECORDS OF THE COUNTY OF CHARLESTON, SOUTH CAROLINA.
 6. THE BOUNDARIES OF THIS PLAT ARE BASED ON THE SURVEY OF THE BOUNDARY OF THE TRACT DESCRIBED IN THE RECORDS OF THE COUNTY OF CHARLESTON, SOUTH CAROLINA.
 7. ALL STREETS SHOWN ON THIS PLAT ARE PRIVATE.

LINE	TABLE	DESCRIPTION	AREA
1	A	WOOD PARK DRIVE	0.12
2	B	WOOD PARK DRIVE	0.12
3	C	WOOD PARK DRIVE	0.12
4	D	WOOD PARK DRIVE	0.12
5	E	WOOD PARK DRIVE	0.12
6	F	WOOD PARK DRIVE	0.12
7	G	WOOD PARK DRIVE	0.12
8	H	WOOD PARK DRIVE	0.12
9	I	WOOD PARK DRIVE	0.12
10	J	WOOD PARK DRIVE	0.12
11	K	WOOD PARK DRIVE	0.12
12	L	WOOD PARK DRIVE	0.12
13	M	WOOD PARK DRIVE	0.12
14	N	WOOD PARK DRIVE	0.12
15	O	WOOD PARK DRIVE	0.12
16	P	WOOD PARK DRIVE	0.12
17	Q	WOOD PARK DRIVE	0.12
18	R	WOOD PARK DRIVE	0.12
19	S	WOOD PARK DRIVE	0.12
20	T	WOOD PARK DRIVE	0.12
21	U	WOOD PARK DRIVE	0.12
22	V	WOOD PARK DRIVE	0.12
23	W	WOOD PARK DRIVE	0.12
24	X	WOOD PARK DRIVE	0.12
25	Y	WOOD PARK DRIVE	0.12
26	Z	WOOD PARK DRIVE	0.12

LINE	TABLE	DESCRIPTION	AREA
1	A	WOOD PARK DRIVE	0.12
2	B	WOOD PARK DRIVE	0.12
3	C	WOOD PARK DRIVE	0.12
4	D	WOOD PARK DRIVE	0.12
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8	H	WOOD PARK DRIVE	0.12
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12	L	WOOD PARK DRIVE	0.12
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14	N	WOOD PARK DRIVE	0.12
15	O	WOOD PARK DRIVE	0.12
16	P	WOOD PARK DRIVE	0.12
17	Q	WOOD PARK DRIVE	0.12
18	R	WOOD PARK DRIVE	0.12
19	S	WOOD PARK DRIVE	0.12
20	T	WOOD PARK DRIVE	0.12
21	U	WOOD PARK DRIVE	0.12
22	V	WOOD PARK DRIVE	0.12
23	W	WOOD PARK DRIVE	0.12
24	X	WOOD PARK DRIVE	0.12
25	Y	WOOD PARK DRIVE	0.12
26	Z	WOOD PARK DRIVE	0.12

DATE: 4/7/05	OWNER: JOHN WIELAND HOMES AND NEIGHBORHOODS OF THE CAROLINAS	<p align="center">Southeastern Surveying of Charleston, Inc.</p> <p>147 Wappoo Creek Drive - Suite 102 Charleston, South Carolina 29412 843-795-9350 FAX: 795-2007 www.ses-sc.com</p>								
DRAWN BY: M.W.	PROJECT: CRET'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST									
CHECKED BY: M.W.	UNITS 39 THRU 44	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION	BY				
NO.	DATE	DESCRIPTION	BY							
NO. 0108	PROJECT: CRET'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST									
DATE: 4/7/05	OWNER: JOHN WIELAND HOMES AND NEIGHBORHOODS OF THE CAROLINAS									
DRAWN BY: M.W.	PROJECT: CRET'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST									
CHECKED BY: M.W.	UNITS 39 THRU 44									
NO. 0108	PROJECT: CRET'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST									
DATE: 4/7/05	OWNER: JOHN WIELAND HOMES AND NEIGHBORHOODS OF THE CAROLINAS									
DRAWN BY: M.W.	PROJECT: CRET'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST									
CHECKED BY: M.W.	UNITS 39 THRU 44									
NO. 0108	PROJECT: CRET'S WALK HORIZONTAL PROPERTY REGIME- DUNES WEST									



STEPHEN S. CASKIE, P.E., LLC
 NO. 001851
 SOUTH CAROLINA
 CERTIFICATE OF AUTHORIZATION

PROFESSIONAL ENGINEER
 NO. 001851
 SOUTH CAROLINA

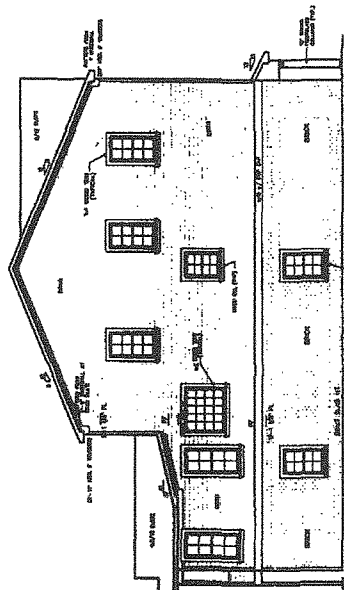
The undersigned hereby certifies that the accuracy of the drawings is to the best of my knowledge and belief.
 Date: Alblas
 Stephen S. Caskie, P.E.

In Egrets Walk Horizontal Property Regime
 CHARLESTON
 EGRET'S WALK - Units 24-28A
 SIDING 4 SIDES

DUNES WEST EGRET'S WALK
 BUILDING ELEVATION - FRONT
 1/2" = 1'-0" (Vertical)
 1/8" = 1'-0" (Horizontal)
 1/4" = 1'-0" (Diagonal)
 1/8" = 1'-0" (Detail)
 1/4" = 1'-0" (Detail)
 1/8" = 1'-0" (Detail)
 1/4" = 1'-0" (Detail)

WILKINSON ENGINEERS, INC.
 1810 Sullivan Road, Airmont, Virginia 22042
 (703) 441-1000

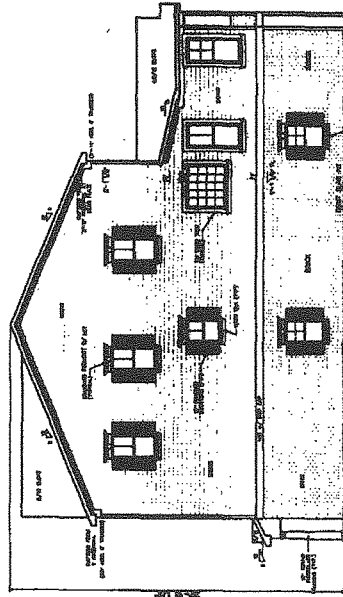
C-1



DUNES WEST -
EGRET'S WALK 28A
CROFTON
MARKET

<p>SCALE AS SHOWN ON SHEET</p>	<p><i>W. H. H. H.</i> WILLARD HOWES, INC. 1000 Sullivan Road, Albany, Georgia 31707 (404) 525-1322</p>	<p>DUNES WEST EGRET'S WALK BUILDING ELEVATION-LEFT 1. DRAWING IS TO BE USED FOR CONSTRUCTION OF THE BUILDING. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN OR AS NOTED. 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.</p>	<p>CHARLESTON EGRET'S WALK - Units 24-28A SIGNED & SEALED FOR THE ARCHITECT DATE: 11/18/88 BY: [Signature]</p>
--	---	--	--

C-2

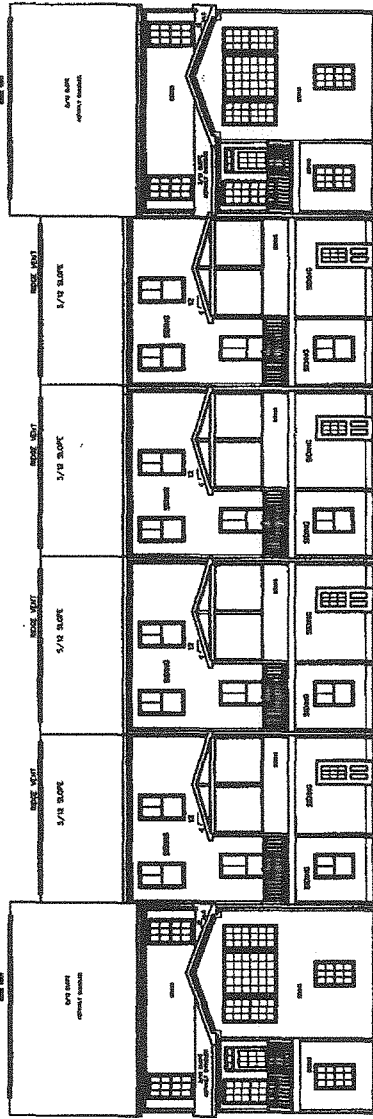


DUNES WEST -
EGRET'S WALK 24
CROFTON
MARKET

PROJECT NO. 10 SHEET NO.	JWB WILKINS BROTHERS, INC. 1200 Madison Road, Atlanta, Georgia 30327 (404) 525-1000	DUNES WEST EGRET'S WALK BUILDING ELEVATION-RIGHT 1/2" = 1'-0" ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE B.C.A.C. CODES. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE B.C.A.C. CODES.	CHARLESTON EGRET'S WALK - Units 24-28A SIDING 4 SIDES SEE SHEET 10 FOR MATERIALS SEE SHEET 11 FOR FINISHES SEE SHEET 12 FOR DETAILS
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C-3

8KA 533PG648



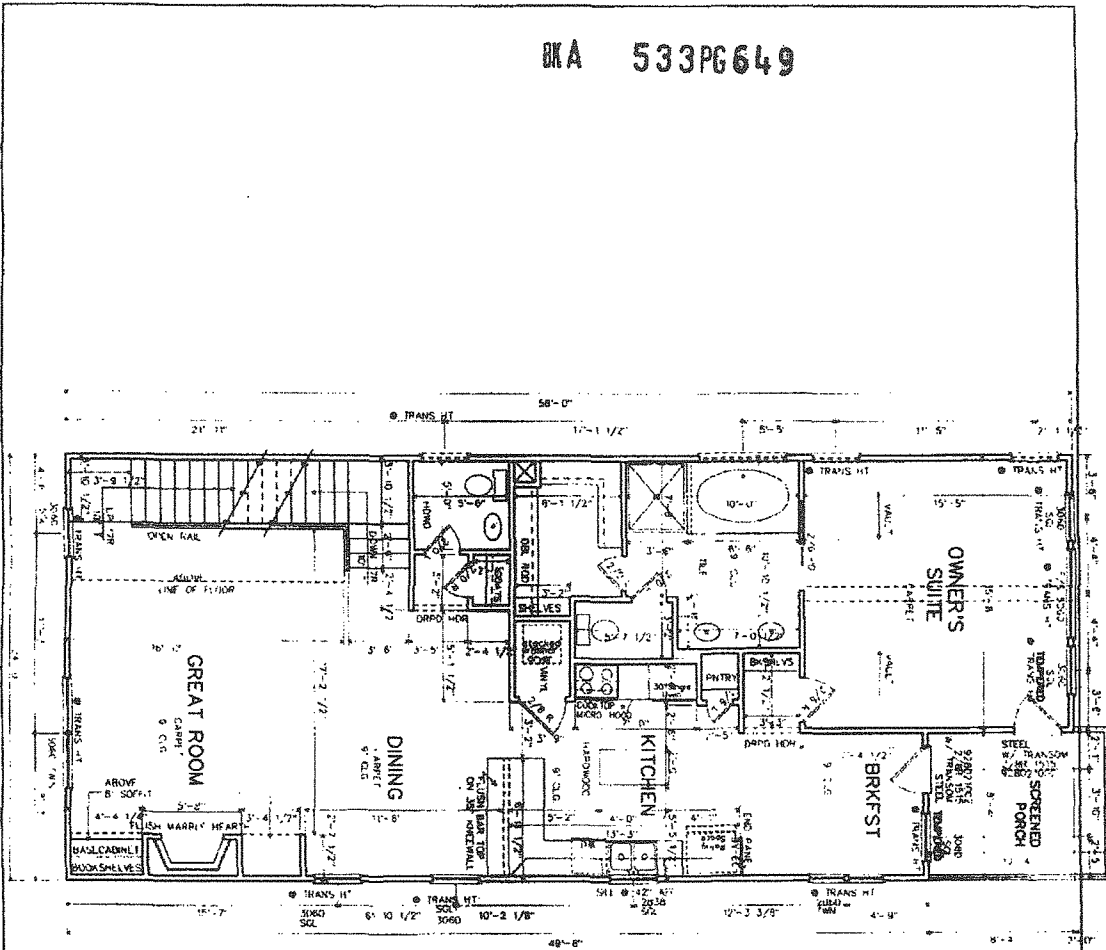
DUNES WEST - EGRETS MARKET
 DUNES WEST - EGRETS MARKET
 DUNES WEST - EGRETS MARKET
 DUNES WEST - EGRETS MARKET
 DUNES WEST - EGRETS MARKET
 DUNES WEST - EGRETS MARKET

CHARLESTON
 DUNES WEST EGRETS WALK - REAR BUILDING ELEVATION - REAR SIDING 4 SIDES
 1000 Sullivan Road, Moncks, Moncks 29557
 (803) 792-1111

C-4

DKA 533PG649

C-5



08.07.04 05

SQUARE FOOTAGE CHART	
123.37	1st Floor finished
914.97	2nd Floor finished
108.00	Basement
231.72	TOTAL FINISHED
117.72	CONCRETE

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

1/2" SHEETROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

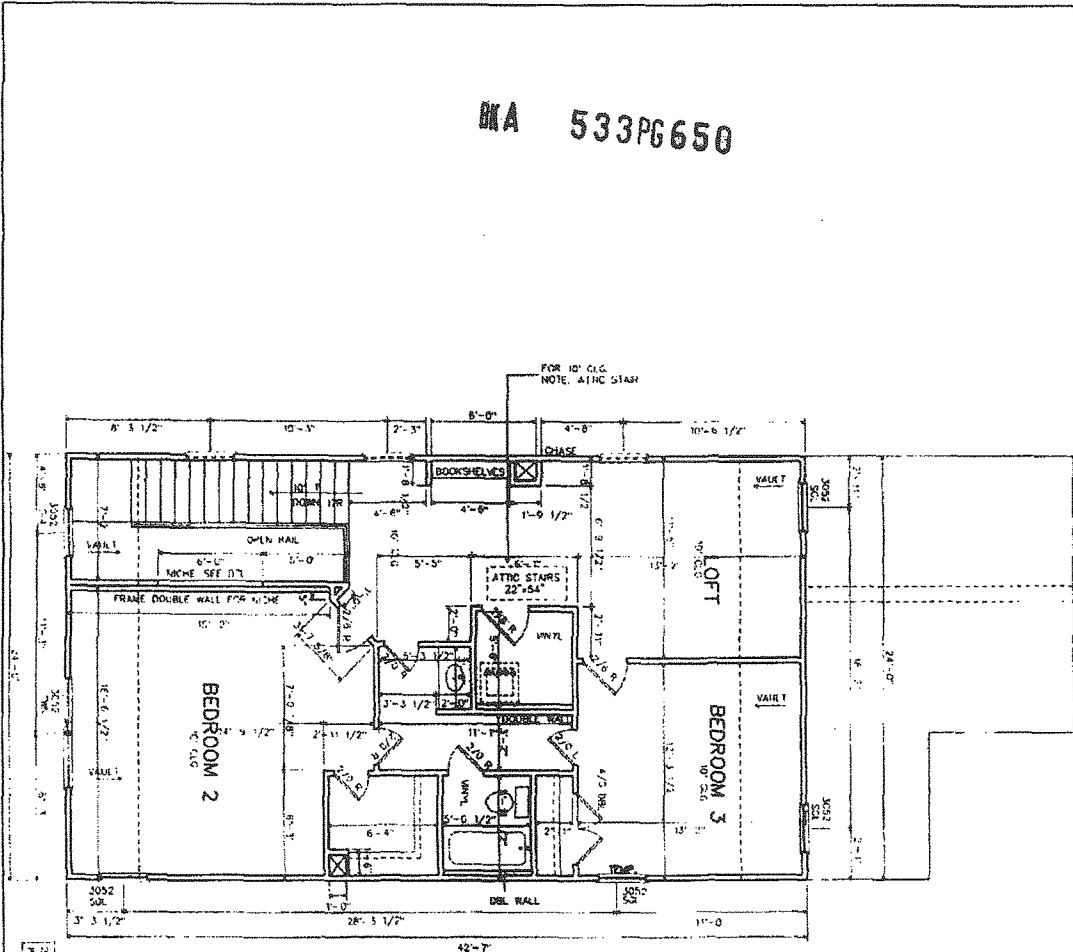
PLATE ONLY) WALLS (USE SINGLE TOP FL. TRUSSES ON INTERIOR CRITICAL: DO NOT BEAR

RIGHT-HAND DRIVE

PROJECT DATE: 05/03/04 DRAWN BY: PENNY SOMMERVILLE CHECKED BY: JEFF HAMILTON	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30137 (770)998-1400	CROFTON FIRST FLOOR PLAN © Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1,000.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.	CHARLESTON Egret's Walk 204 Siding Four Sides Job Start Print Date: 08/07/04, 11:22:04 Drawn by: Penny Somerville Checked by: Jeff Hamilton	REVISIONS 01 12/16/2003 02 01/14/2004 03 02/17/2004 04 03/17/2004 05 04/14/2004
			PLO SCALE: 1/8" PLOT DATE: 12-15-03 PLOT TIME: 3:03	08.07.04 05

BA 533PG650

C-6



CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

PLATE ONLY! WALLS (USE SINGLE TOP FL. TRUSSES ON INTERIOR CRITICAL: DO NOT BEAR

RIGHT-HAND DRIVE

PROJECT E.G. 2001 GO TO: VEH	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON SECOND FLOOR PLAN <small>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	FLOOR SCALE: 1/8" 1" = 8'-0" (A1) 1" = 5'-0" (A2) FLOOR PLAN: 3'-0"	CHARLESTON Egret's Walk 2A Siding Four Sides Job Start Print Date: 16.07.04 11.27.04 Drawn by: Pamie, Sunnewville Checked by: Jeff Humiston	REVISIONS 1. 10/15/04 2. 10/22/04 3. 11/02/04 4. 11/02/04 5. 11/02/04 6. 11/02/04 7. 11/02/04 8. 11/02/04 9. 11/02/04 10. 11/02/04
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MA 533P8881

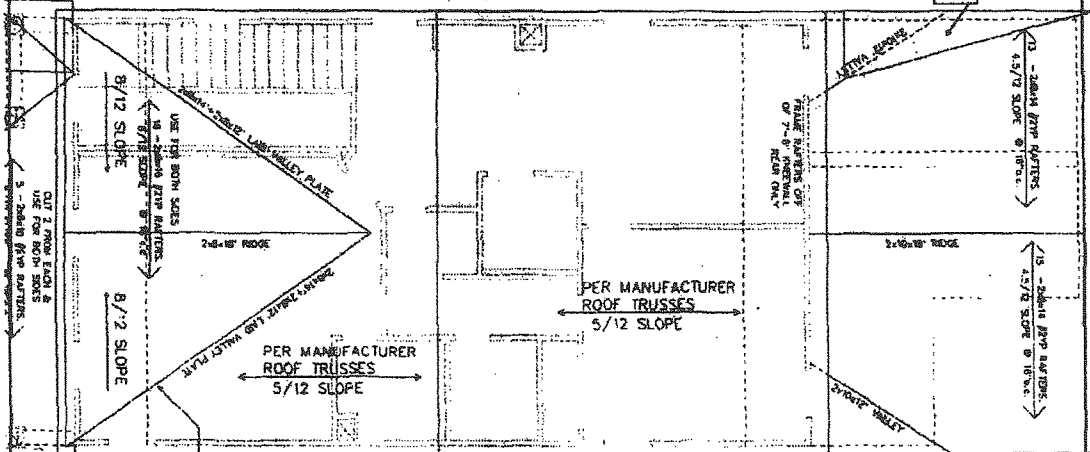
CUT 2 FROM EACH
TO - 2x6x10 RYP RAFTERS
5/12 SLOPE @ 16" o.c.

CUT 2 FROM EACH
TO - 2x6x10 RYP C/J
@ 16" o.c.

MAIN ROOF PER TRUSS SUPPLIER

CRITICAL CHECK AS
REQUIRED PER UNIT SYSTEMS
MANUAL TO VERIFY

C-7



FRAME RAFTERS OFF
OF TRUSS CHORD
1" - 1" (MIN.)

OVERHANG CHAIR

FOR STANDARD FRAMING DETAILS
FRAMER NOTE: SEE FRAMERS MANUAL

7/16" SHEATHING
ROOF SHEATHING

6 - 2x6x10 RYP RAFTERS
5/12 SLOPE @ 16" o.c.

RIGHT-HAND DRIVE

PROJECT FILE NO. 00 TO VIEW	 JOEL WIELAND HOMES, INC. 1650 Sullivan Road, Atlanta, Georgia 30337 (770)596-1800	CROFTON ROOF FRAMING <small>Copyright 2004 Joel Wieland Homes and Neighborhoods, Inc. All rights reserved. No part of this document may be copied or in part, without the prior written permission of Joel Wieland Homes and Neighborhoods, Inc. A \$150.00 reward is offered to the provider of information leading to the intentional promotion of a claim made by Joel Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	Plot Scale: 1/8" Plot Date: 02-18-04 Plot Time: 3:02	CHARLESTON		Job Start Plot Date: 02.07.04 11.23.04 Drawn by: Paved Gonzalez Checked by: Jeff Horvath	REVISIONS NO. DATE BY DESCRIPTION
				Egret's Walk 284 Siding Four Sides			

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.

ABOVE	2-STORY	2-STORY	THICKNESS (T)
	10"	10"	FRAME
	12"	12"	BRICK
WIDTH (W)			
	17"	15"	FRAME
	23"	19"	BRICK

ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY

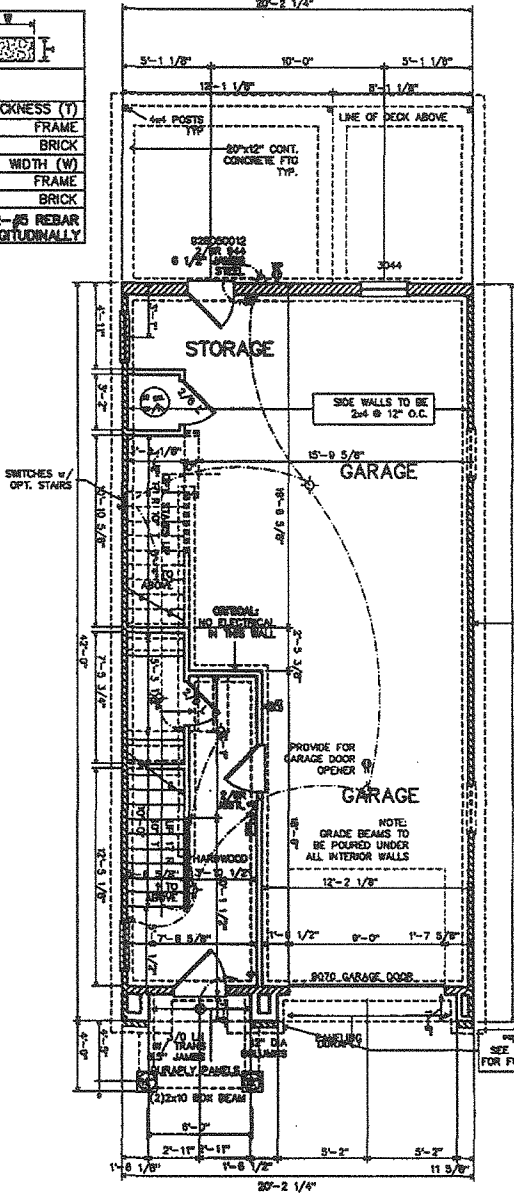
ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

TERMITE TREATMENT REQUIRED BENEATH ALL SLABS.



NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL

NOTE: FLOOR SHEATHING 5/8" OR 3/4" T&G FLOOR INSULATION R-19 BATT

NOTE: SEE DETAIL FOR FOOTING

C-8

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

RIGHT-HAND DRIVE

PROJECT FILED GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
 1850 Sullivan Road, Atlanta, Georgia 30337
 (770)998-1400

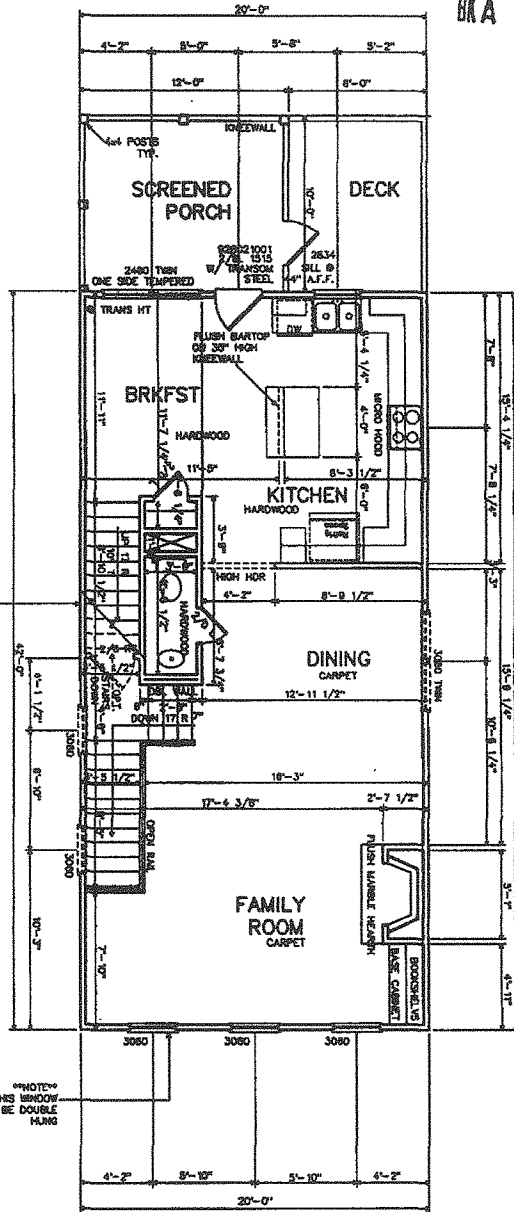
BULLOCH BASEMENT PLAN
 © Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.

LOT DATE: 4-1-98
 LOT TAIL: 30-28

CHARLESTON
EGRET'S WALK 25
 BRICK FND FRONT
 Job Start Plot Date: 06.07.04, Restart: 11.22.04
 drawn by: Pamel Somerville
 checked by: Jeff Hamilton

NO.	DATE	REVISIONS
1	12.15.2001	PERMITTED
2	01.11.2002	REVISION
3	02.15.2002	REVISION
4	03.15.2002	REVISION
5	04.15.2002	REVISION
6	05.15.2002	REVISION
7	06.15.2002	REVISION
8	07.15.2002	REVISION
9	08.15.2002	REVISION
10	09.15.2002	REVISION
11	10.15.2002	REVISION
12	11.15.2002	REVISION
13	12.15.2002	REVISION
14	01.15.2003	REVISION
15	02.15.2003	REVISION
16	03.15.2003	REVISION
17	04.15.2003	REVISION
18	05.15.2003	REVISION
19	06.15.2003	REVISION
20	07.15.2003	REVISION
21	08.15.2003	REVISION
22	09.15.2003	REVISION
23	10.15.2003	REVISION
24	11.15.2003	REVISION
25	12.15.2003	REVISION
26	01.15.2004	REVISION
27	02.15.2004	REVISION
28	03.15.2004	REVISION
29	04.15.2004	REVISION
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51	02.15.2006	REVISION
52	03.15.2006	REVISION
53	04.15.2006	REVISION
54	05.15.2006	REVISION
55	06.15.2006	REVISION
56	07.15.2006	REVISION
57	08.15.2006	REVISION
58	09.15.2006	REVISION
59	10.15.2006	REVISION
60	11.15.2006	REVISION
61	12.15.2006	REVISION
62	01.15.2007	REVISION
63	02.15.2007	REVISION
64	03.15.2007	REVISION
65	04.15.2007	REVISION
66	05.15.2007	REVISION
67	06.15.2007	REVISION
68	07.15.2007	REVISION
69	08.15.2007	REVISION
70	09.15.2007	REVISION
71	10.15.2007	REVISION
72	11.15.2007	REVISION
73	12.15.2007	REVISION
74	01.15.2008	REVISION
75	02.15.2008	REVISION
76	03.15.2008	REVISION
77	04.15.2008	REVISION
78	05.15.2008	REVISION
79	06.15.2008	REVISION
80	07.15.2008	REVISION
81	08.15.2008	REVISION
82	09.15.2008	REVISION
83	10.15.2008	REVISION
84	11.15.2008	REVISION
85	12.15.2008	REVISION
86	01.15.2009	REVISION
87	02.15.2009	REVISION
88	03.15.2009	REVISION
89	04.15.2009	REVISION
90	05.15.2009	REVISION
91	06.15.2009	REVISION
92	07.15.2009	REVISION
93	08.15.2009	REVISION
94	09.15.2009	REVISION
95	10.15.2009	REVISION
96	11.15.2009	REVISION
97	12.15.2009	REVISION
98	01.15.2010	REVISION
99	02.15.2010	REVISION
100	03.15.2010	REVISION

AKA 533PG653



ALL EXTERIOR HEADERS
TO BE 2-2x10 #21P
UNLESS OTHERWISE
SPECIFIED.

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

1/2" SHEETROCK & INSULATION
ON GARAGE CEILING AND COMMON
WALLS WITH HOUSE

NOTE: EXTEND BASEMENT
STUDS & STAIRS
TO TOP OF FLOOR
JOISTS

NOTE: THIS WINDOW
TO BE DOUBLE
HUNG

C-9

112310 05	
SQUARE FOOTAGE CHART	
sq. ft.	sq. ft.
100	100
200	200
300	300
400	400
500	500
600	600
700	700
800	800
900	900
1000	1000

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

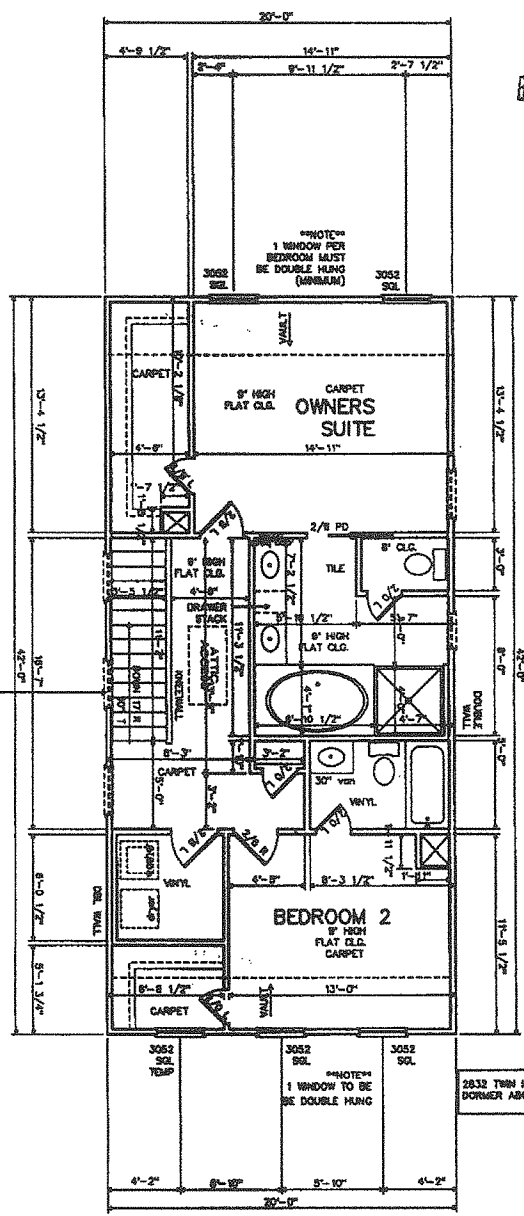
RIGHT-HAND DRIVE

PROJECT FLEDS GO TO VEN	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	BULLOCH 1ST FLOOR PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$250.00 reward is available to the first provider of information leading to the successful prosecution of a crime made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	LOT TIME: 02:20 PLOT DATE: 4-2-00 PLOT SCALE: 1/8"	CHARLESTON EGRET'S WALK 25 BRICK FND FRONT Job Start Plot Date: 06.07.04, Restart 11.2.04 drawn by: Pamel Somers-Bis checked by: Jeff Hamilton	REVISIONS 1 2 3 4 5 6 7 8 9 10

BKA 533PG654

C-10

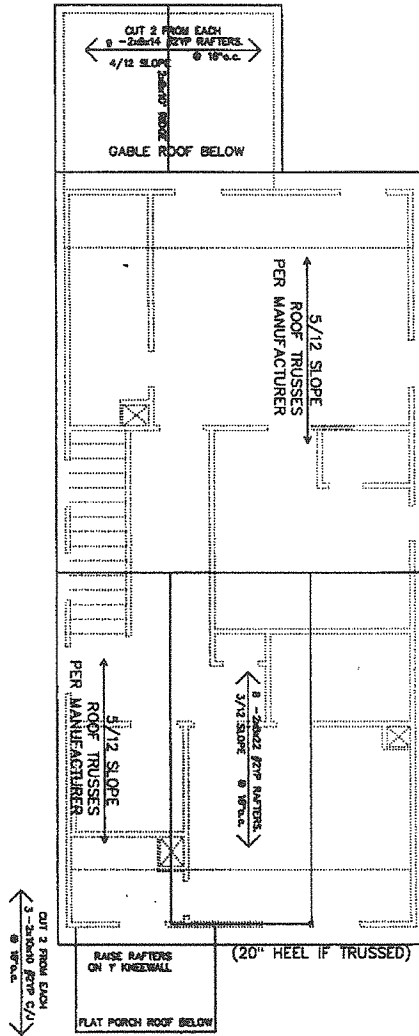
NOTE: EXTEND 1ST FLOOR STUDS & STAIRS TO TOP OF FLOOR JOISTS



THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILED/DO GO TO VIEW	<p>JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH 2ND FLOOR PLAN</p> <p><small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1,000.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>CHARLESTON EGRET'S WALK 25</p> <p>BRICK FND FRONT Job Start Plot Date: 06.07.04, Restart 11.23.04 Drawn by: Patti Sorenson checked by: Jeff Hamilton</p>
DATE			<p>LOT DATE: 4-5-98 LOT TIME: 10:29 PLAT SCALE: 1/8" = 1'-0"</p>

AKA 533P6655

C-11



ROOF SHEATHING
7/8" SHEATHING

FRAMER NOTE: SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

RIGHT-HAND DRIVE

PROJECT
FILED/CDS
GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

**BULLOCH
ROOF FRAMING**

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PROJECT
DATE: 4-2-08
CUT TIME: 10:30
PLOT SCALE: 1/8"

CHARLESTON
EGRET'S WALK 25

BRICK FND FRONT
Job Start Plot Date: 06.07.04, Restart: 11.22.04
drawn by: Penel Somerville
checked by: Jeff Hamilton

REVISIONS
NO. DESCRIPTION
DATE BY
1 12.15.2001
2 01.13.2004
3 04.23.2004

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.

ABOVE	2-STORY	2-STORY	THICKNESS (T)
	10"	10"	FRAME
	12"	12"	BRICK
	17"	15"	WIDTH (W)
	23"	19"	FRAME
			BRICK

ALL FOOTINGS TO HAVE 2-#6 REBAR LONGITUDINALLY

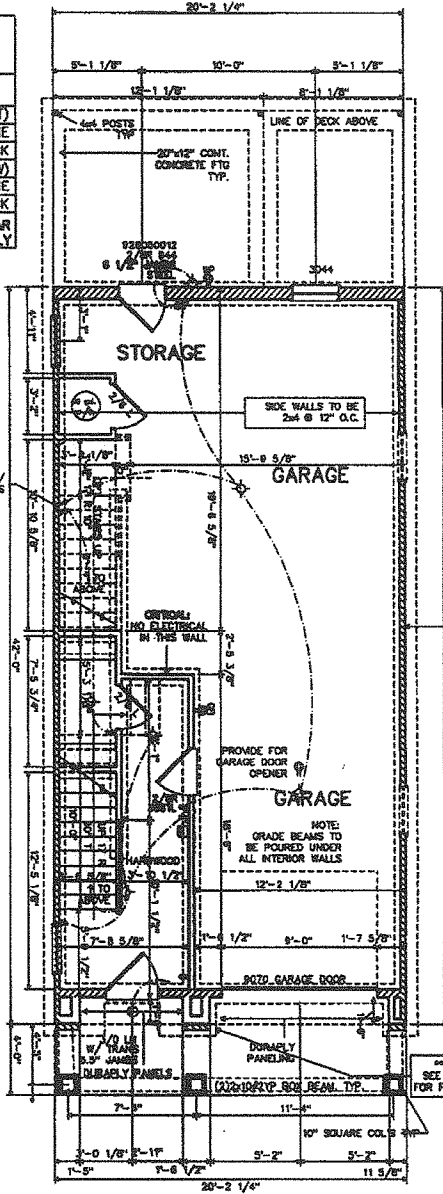
ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

PERMITE TREATMENT REQUIRED BENEATH ALL SLABS.



C-12

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

RIGHT-HAND DRIVE

BULLOCH BASEMENT PLAN

CHARLESTON EGRET'S WALK 26

BRICK FND FRONT
Job Start Plot Date: 06.07.04, Restart 11.22.04
drawn by: Penet Somerville
checked by: Jeff Hamilton

JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

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PROJECT FILE NO. 00 TO VIEW

DATE: 11/22/04

LOT: 10-00

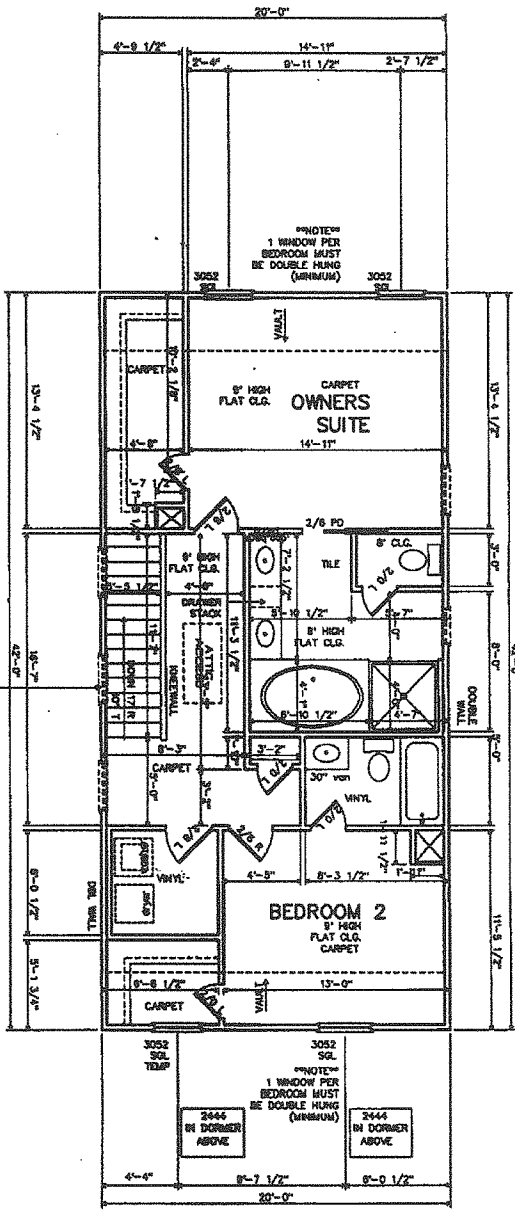
SCALE: 1/8" = 1'-0"

DATE: 11/22/04

REVISIONS

BKA 533PG658

C-14

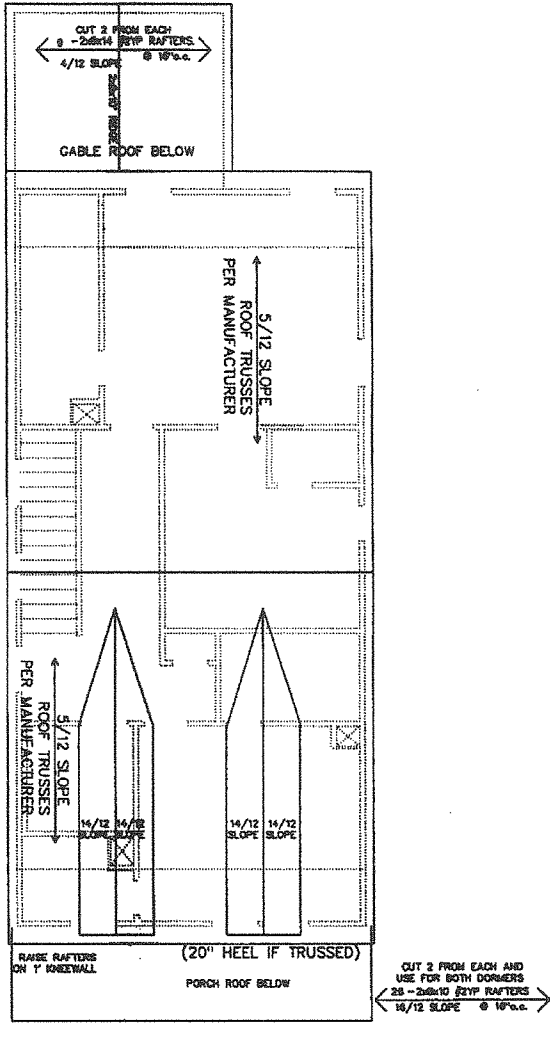


NOTE: EXTEND 1ST FLOOR STUDS & STAIRS TO TOP OF FLOOR JOISTS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILE.DWG TO VIEW	<p>JOHN WIELAND HOMES, INC. 1830 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH 2ND FLOOR PLAN</p> <p>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 record is available to the first provider of information leading to the successful presentation of a state made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</p>	
DATE		<p>LOT SCALE 1/8" = 1'-0"</p> <p>DATE: 4-4-99</p> <p>LOT: 26</p>	<p>CHARLESTON EGRET'S WALK 26</p> <p>BRICK FND FRONT</p> <p>Job Start Plot Date: 08.07.04, Restart: 11.22.04</p> <p>drawn by: Pamela Somerville checked by: Jeff Hamilton</p>
REVISIONS		<p>DATE: 11-23-01</p> <p>BY: JWH</p> <p>REVISION: 1</p> <p>DATE: 11-23-01</p> <p>BY: JWH</p> <p>REVISION: 2</p> <p>DATE: 11-23-01</p> <p>BY: JWH</p> <p>REVISION: 3</p> <p>DATE: 11-23-01</p> <p>BY: JWH</p> <p>REVISION: 4</p>	

BKA 533P6659

C-15

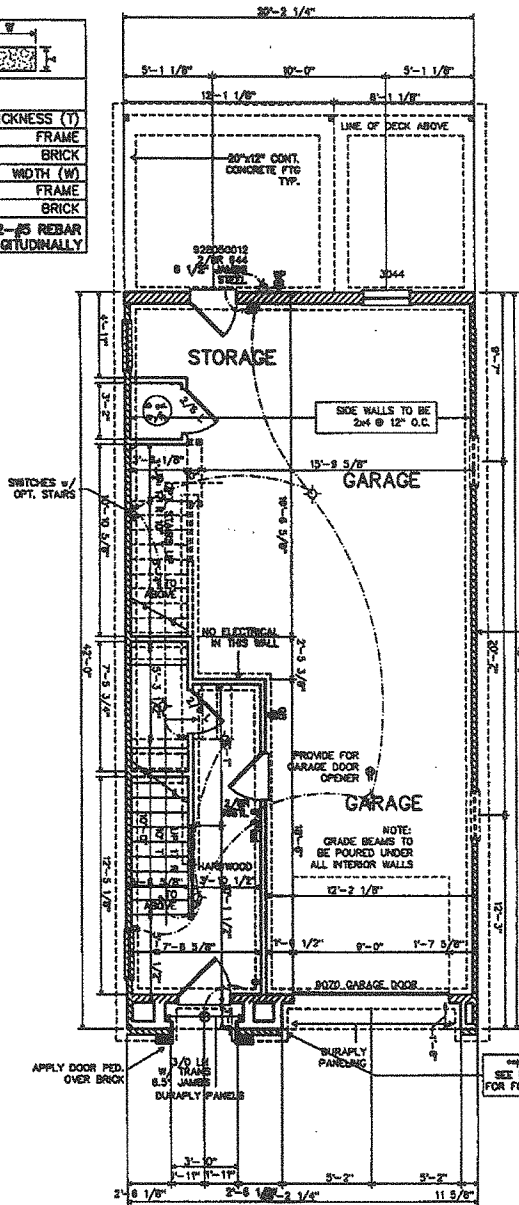


ROOF SHEATHING
- 1/8" SHEATHING

FRAMER NOTE: SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILE/DWG NO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$400.00 award is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 26 BRICK FND FRONT Job Start Plot Date: 08.07.04, Revert 11.22.04 drawn by: Pamel Somerville checked by: Jeff Hamilton
DATE			PLOT SCALE: 1/8" = 1'-0" PLOT DATE: 4-3-06 PLOT TIME: 10:29

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.		
ABOVE	2-STORY	2-STORY
	THICKNESS (T)	
10"	10"	FRAME
12"	12"	BRICK
	WIDTH (W)	
17"	15"	FRAME
23"	19"	BRICK
ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY		



ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FLOOR SHEATHING 5/8" OR 3/4" T&G FLOOR INSULATION R-19 BATT

PERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

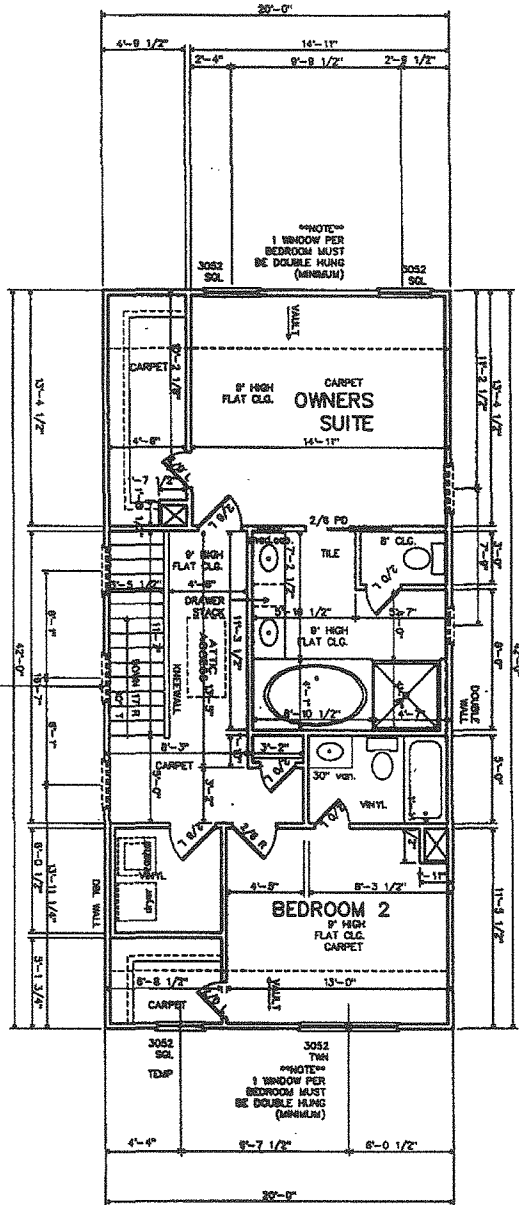
NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL

NOTE: SEE DETAIL FOR FOOTING

C-16

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILE.DCS DO TO VIEW	<p>JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH BASEMENT PLAN</p> <p><small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be viewed, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$400.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>CHARLESTON EGRET'S WALK 27 BRICK FND FRONT</p> <p>Job Start Plot Date: 06.07.04, Restart 11.22.04 drawn by: Pamela Somerville checked by: Jeff Hamilton</p>
DATE: 06.08.04	DATE: 06.08.04	DATE: 06.08.04	DATE: 06.08.04

8KA 533P6662



C-18

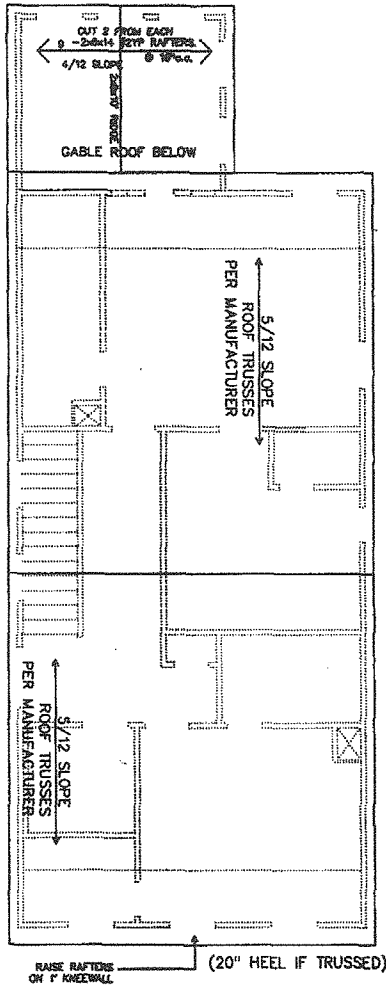
NOTE: EXTEND 1ST FLOOR STUDS @ STAIRS TO TOP OF FLOOR JOISTS

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2x10 #2FP UNLESS OTHERWISE SPECIFIED.

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FLEDCS GO TO VIEW	 JOE WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400	BULLOCH 2ND FLOOR PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A PURCHASE record is available to the first provider of information leading to the successful presentation of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 27 BRICK FND FRONT <small>Job Start Plot Date: 05.07.04, Restart 11.22.04 Drawn by: Pamela Somerville Checked by: Jeff Hamilton</small>
SHEET NO. 201	DATE: 4-5-04 SCALE: 1/8" = 1'-0"	REVISIONS NO. DATE BY DESCRIPTION 1 12/13/2001 JWH 2 12/13/2001 JWH 3 12/13/2001 JWH	REVISIONS


OKA 533PG663



ROOF SHEATHING
7/8" SHEATHING

FRAMER NOTE - SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS

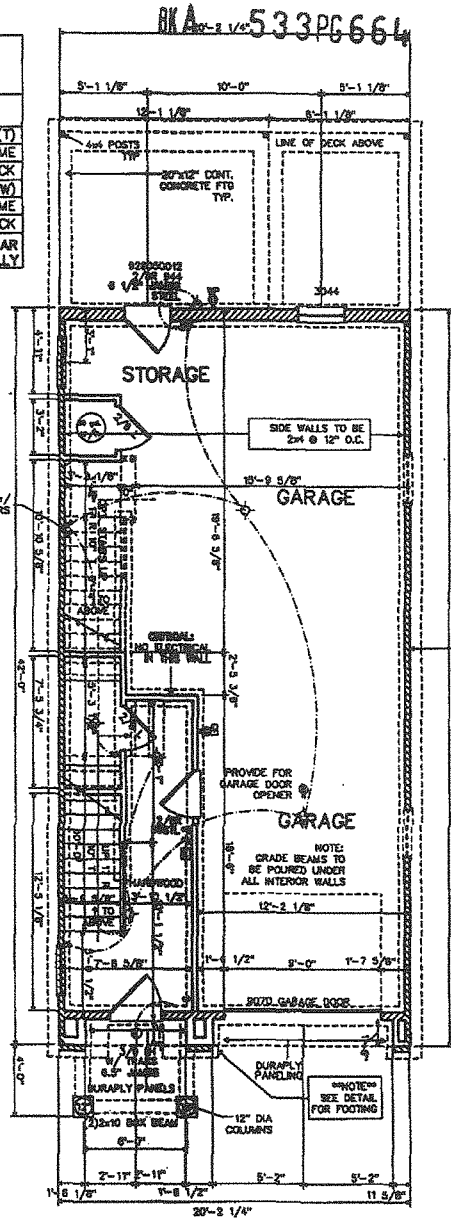
C-19

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILEDCS GO TO MEM	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)896-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$149.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 27 BRICK FND FRONT Job Start Plot Date: 06.07.04, Recheck 11.22.04 drawn by: Pamé Somerville checked by: JAW Harvatan

**FOOTING DIMENSION
BASED ON SOIL BEARING
CAPACITY OF 2000 PSF.**

ABOVE	2-STORY	2-STORY	THICKNESS (T)
10"	10"	10"	FRAME
12"	12"	12"	BRICK
			WIDTH (W)
17"	15"	15"	FRAME
23"	19"	19"	BRICK

ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY



ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE ALARMS IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

NOTE: SIDE WALLS ARE LEAD BEARING SEE FOOTING DETAIL

NOTE: FLOOR SLABS ARE 4" @ 12" O.C. FLOOR REBAR AT 18" @ 9" BATT

TERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

C-20

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

RIGHT-HAND DRIVE

CHARLESTON

EGRET'S WALK 28

BRICK FND FRONT

Job Sheet Plot Date: 08.07.04, Reprint 11.22.04
checked by: Jeff Hamilton

BULLOCH BASEMENT PLAN

JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

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PROJECT FILE: DCS 00 TO VIEW

PLAT SCALE: 1/8"

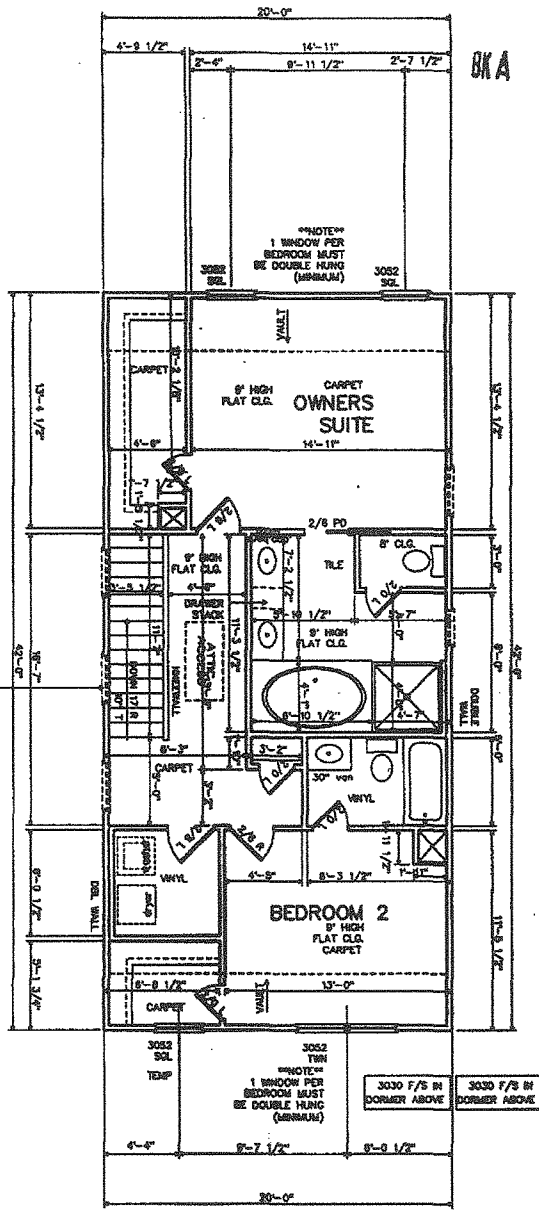
PLAT DATE: 4-5-99

REVISIONS

BKA 533PG666

C-22

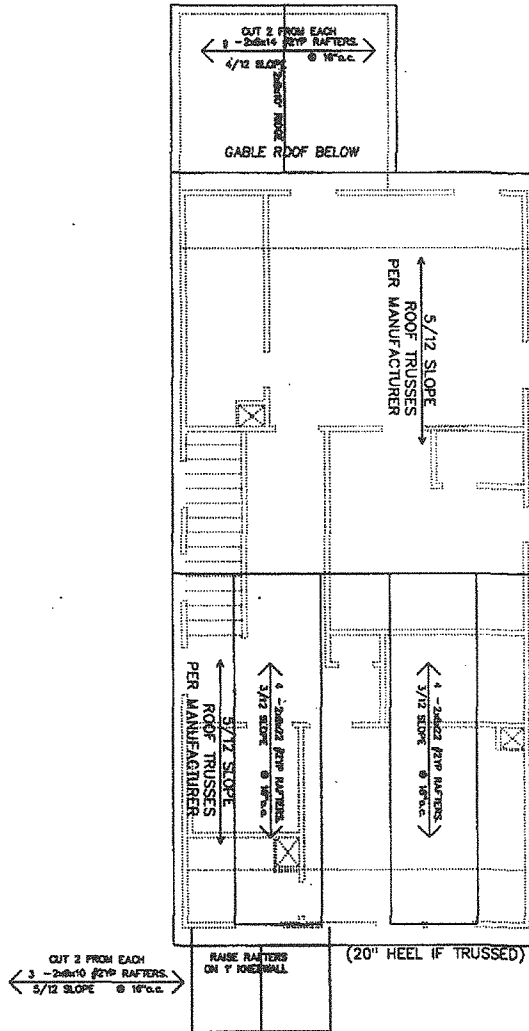
NOTE: EXTEND 1ST FLOOR STUDS @ STAIRS TO TOP OF FLOOR JOISTS



THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILEDCDS 00 TO VIEW	<p>JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH 2ND FLOOR PLAN</p> <p>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</p>	
DATE: 11/11/04		<p>BRICK FND FRONT Job Start Plot Date: 08.07.04, Reorder: 11.22.04 drawn by: Paul Bonaville checked by: Jeff Hamilton</p>	

BKA 533PG667

C-23



ROOF SHEATHING
7/8\"/>

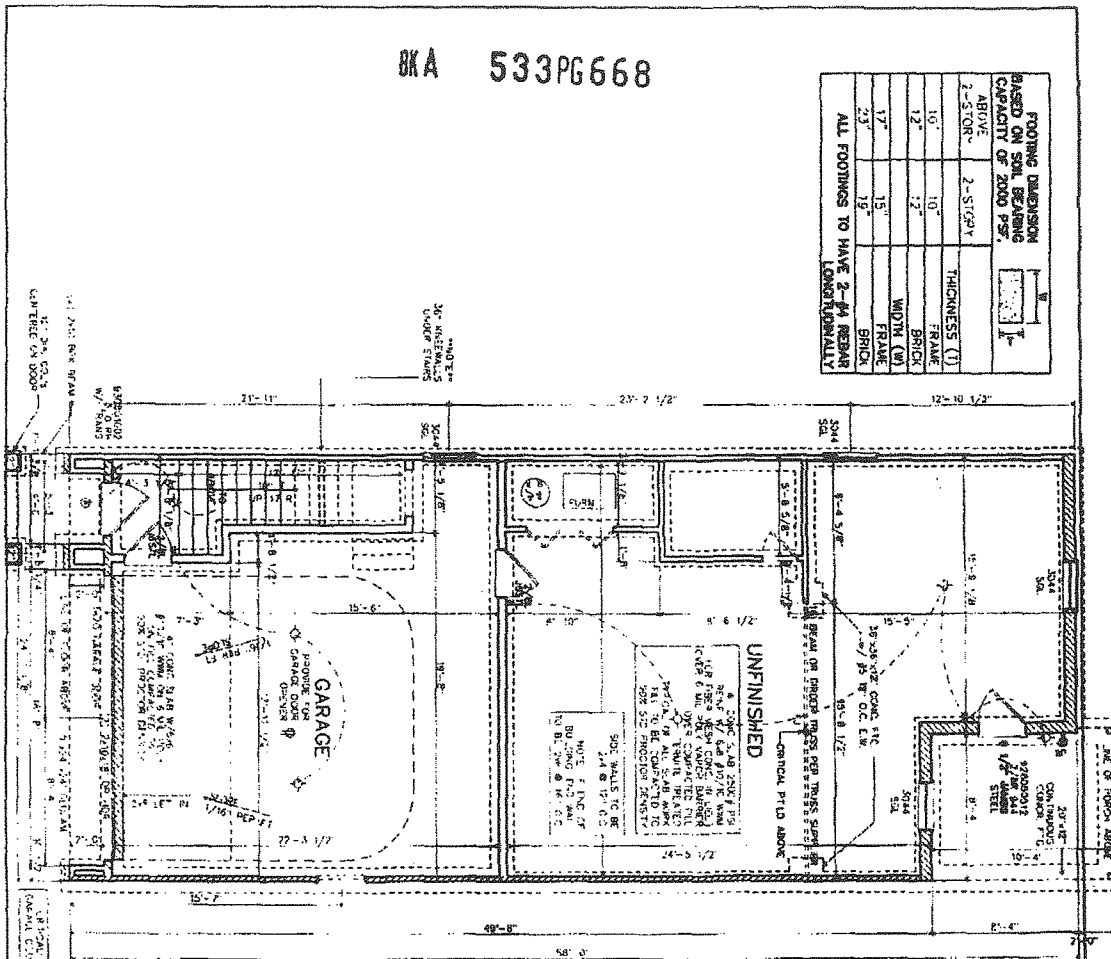
FRAMER NOTE: SEE FRAMER'S MANUAL
FOR STANDARD FRAMING DETAILS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILEDCS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A STANDARD record is available to the first possessor of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 28 BRICK FND FRONT <small>Job Start Plot Date: 05.07.04, Reorder: 11.22.04 Drawn by: Fred Remondino checked by: Jeff Hamilton</small>
DATE	SCALE: 1/8"	PLAT DWS: 4-5-98	REVISIONS
		PLAT TIME: 10:50	1. K. REMONDI 2. J. HAMILTON 3. J. HAMILTON 4. J. HAMILTON 5. J. HAMILTON 6. J. HAMILTON 7. J. HAMILTON 8. J. HAMILTON 9. J. HAMILTON 10. J. HAMILTON

BKA 533PG668

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.		
2-STORY	2-STORY	THICKNESS (I)
10"	10"	FRAME BRICK
12"	12"	WIDTH (W)
17"	15"	FRAME BRICK
23"	19"	FRAME BRICK

ALL FOOTINGS TO HAVE 2-#4 REBAR LONGITUDINALLY



C-24

PLATE ONLY)
WALLS (USE SINGLE TOP
FL. TRUSSES ON INTERIOR
CRITICAL: DO NOT BEAR

IN ACCORDANCE W/NCSBC VOL. III, SEC. 404
FOUNDATION WALLS TO BE DESIGNED
8" POURED CONCRETE WALLS (TYP.)

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

R-19 BATT
FLOOR INSULATION:
5/8" or 3/4" T&G
FLOOR SHEATHING:
NOTE:

BENEATH ALL SLABS.
TERMITE TREATMENT REQUIRED

TO ALL APPLICABLE ELECTRICAL CODES
ELECTRICAL INSTALLATION IS TO CONFORM

INSULATION UNDER SLAB.
1"x24" RIGID FOAM PERIMETER

DRAWN WITH 10" TREADS
CRITICAL: THIS PLAN IS

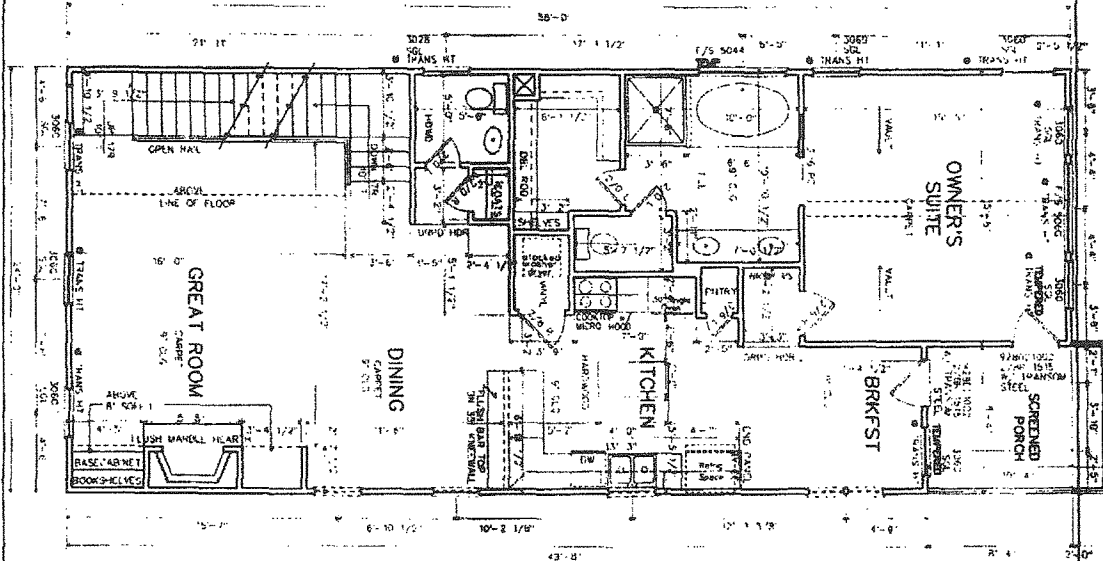
ALL SPOKE INTERIORS SHALL
BE INTERCOMBUSTIBLE SPOKE THAT
THE ACTIVATION OF ONE SPOKE
SHALL BE SUITABLE TO THE
SLEEPING AREA

RIGHT-HAND DRIVE

JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30317 (770)996-1400	CROFTON BASEMENT FOUNDATION <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the issuance of a claim check by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON Egret's Walk 2EA Siding Four Sides Job Start Plot Date: 06/07/04, H.22.04 Drawn By: Penni Somerville Checked by: Jeff Hamilton	REVISIONS 1/27/05 2001 2/27/05 2001 3/27/05 2001 4/27/05 2001 5/27/05 2001 6/27/05 2001 7/27/05 2001 8/27/05 2001 9/27/05 2001 10/27/05 2001 11/27/05 2001 12/27/05 2001
	PLAN 1 FLD 201 CD 10 10 10	PLOT SCALE: 1/8"=1'-0" PLOT DATE: 12-1-03 PLOT TIME: 11:00	PLOT SCALE: 1/8"=1'-0" PLOT DATE: 12-1-03 PLOT TIME: 11:00

BKA 533PG669

C-25



06/07/04	55
1531 SF	1st Floor - finished
914 SF	2nd Floor - finished
1000 SF	Unfinished
4772 SF	Garage


CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

1/2" SHEETROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

PLATE ONLY) WALLS (USE SINGLE TOP FL. TRUSSES ON INTERIOR CRITICAL: DO NOT BEAR

RIGHT-HAND DRIVE

PROJECT FILE NO. 02 TO WFH	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON FIRST FLOOR PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be altered, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000 fee is payable to the first provider of information leading to the unlawful production of a copy made by John Wieland Homes and Neighborhoods, Inc. in any form or medium.</small>	CHARLESTON Egret's Walk 200A Siding - four Sides Job Start and Date: 10/07/04, 11/22/04 Drawn by: Karen Sumner Checked by: Jeff Hampton	REVISIONS 01 09/09/2003 02 09/22/03 03 10/07/04 04 11/22/04
SHEET NO.				

DKA 0330671

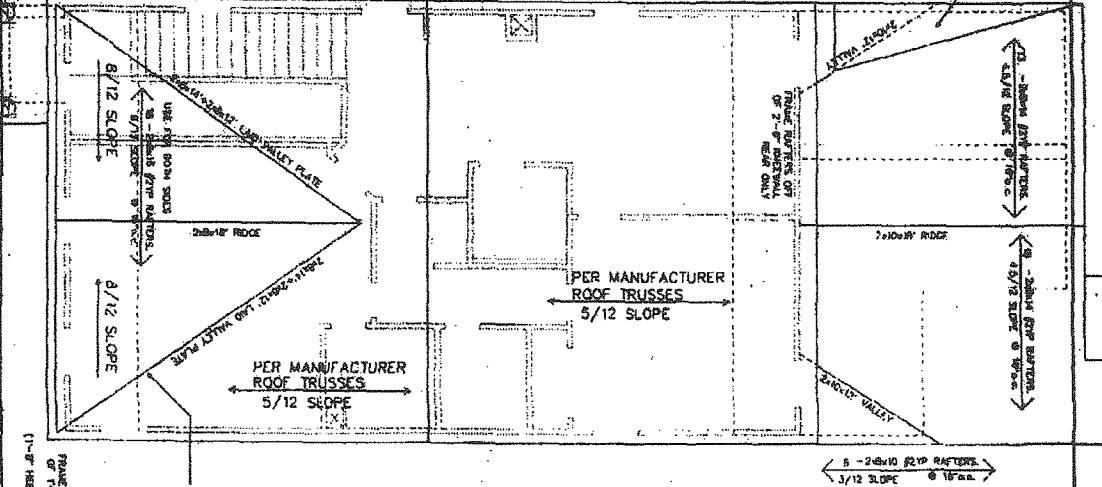
CUT 2 FROM EACH
5 - 2x4x10 @ 12" O.C.
5/12 SLOPE @ 10' O.C.

CUT 2 FROM EACH
5 - 2x4x10 @ 12" O.C.
5/12 SLOPE @ 10' O.C.

MAIN ROOF PER TRUSS SUPPLIER

SEE ROOF CONTRACT FOR
SHEATHING AND TRUSS
SPACING TO VERIFY

C-27



FOR STANDARD FRAMING DETAILS
FRAMER NOTE: SEE FRAMERS MANUAL

7/16" SHEATHING
ROOF SHEATHING

RIGHT-HAND DRIVE

PROJECT FILES GO TO VIEW	 JOHN WIELAND HOMES, INC. 1660 Sulfreen Road, Atlanta, Georgia 30337 (770)998-1400	CROFTON ROOF FRAMING <small>Copyright 2007 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, reproduced, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A RETURNED MAIL IS NOT TO BE USED FOR THE FIRST NUMBER OF INFORMATION LEADING TO THE SUCCESSFUL PROMOTION OF A STATE OR FEDERAL LOTTERY OR SIMILAR PROMOTION. See the rules and regulations for the lottery or promotion.</small>	PLAN DATE: 09-18-08 JOB NO.: 08-01-08 JOB NAME: 08-01-08	CHARLESTON Egret's Walk 28A Siding Four Sides Job Start/Est. Date: 06-01-08/11-22-08 Drawn by: Penni Somerville Checked by: Jeff Hamilton	REVISIONS NO. DATE BY 1 08-18-08 JH 2 08-18-08 JH 3 08-18-08 JH

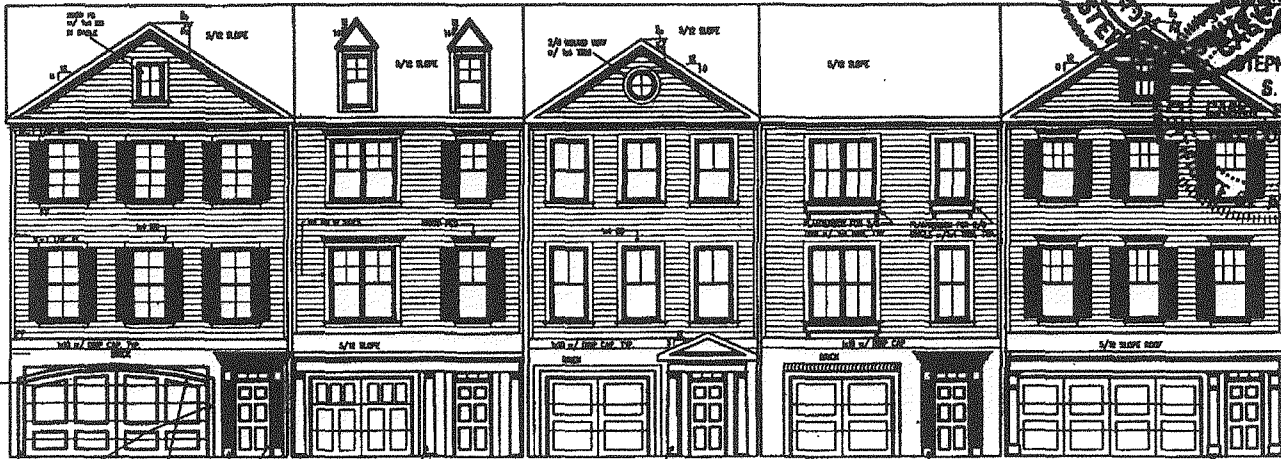
KA 533PG672

The undersigned hereby certifies that the area, shown, is accurately reflected to the best of my knowledge.

Date: 4/10/15

Signed:

No. 9806



REMOVE PANELS AT ALL FRONT AND CHANGE DOOR BEHINDS EXTERIOR.
 1/4\"/>

LOT 32A
CROFTON
MARKET

LOT 32
BULLOCH
MARKET

LOT 31
BULLOCH
MARKET

LOT 30
BULLOCH
MARKET

LOT 29
CROFTON
MARKET

In Egrets Walk Horizontal Property Regime

John Wieland Homes
JOHN WIELAND HOMES, INC.

1950 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

DUNES WEST TOWNHOMES
FRONT ELEVATION

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DATE: 4/10/15
BY: [Signature]

UNITS 1-5

EGRETS WALK AT DUNES WEST

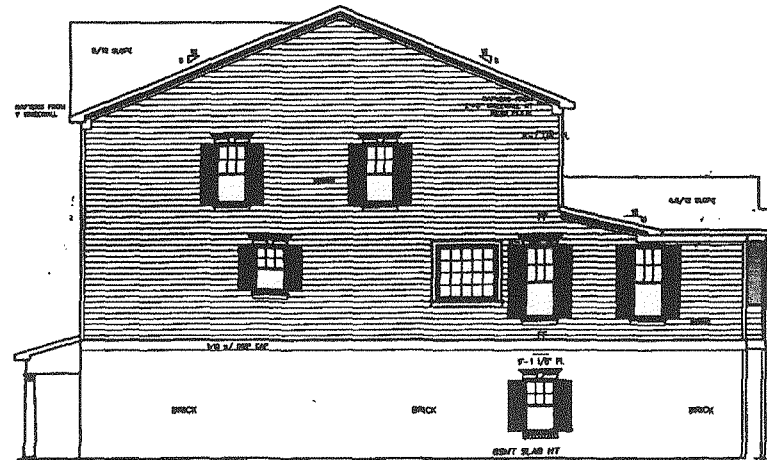
Brick Foundation 3 SIDES

Job Sheet Plot Order 08.18.03, Reorder 11.22.04
drawn by: A. Peral Sarmiento
checked by: JOB DCS

REVISIONS
 1/ []
 2/ []
 3/ []

C-28

BKA 533PG673

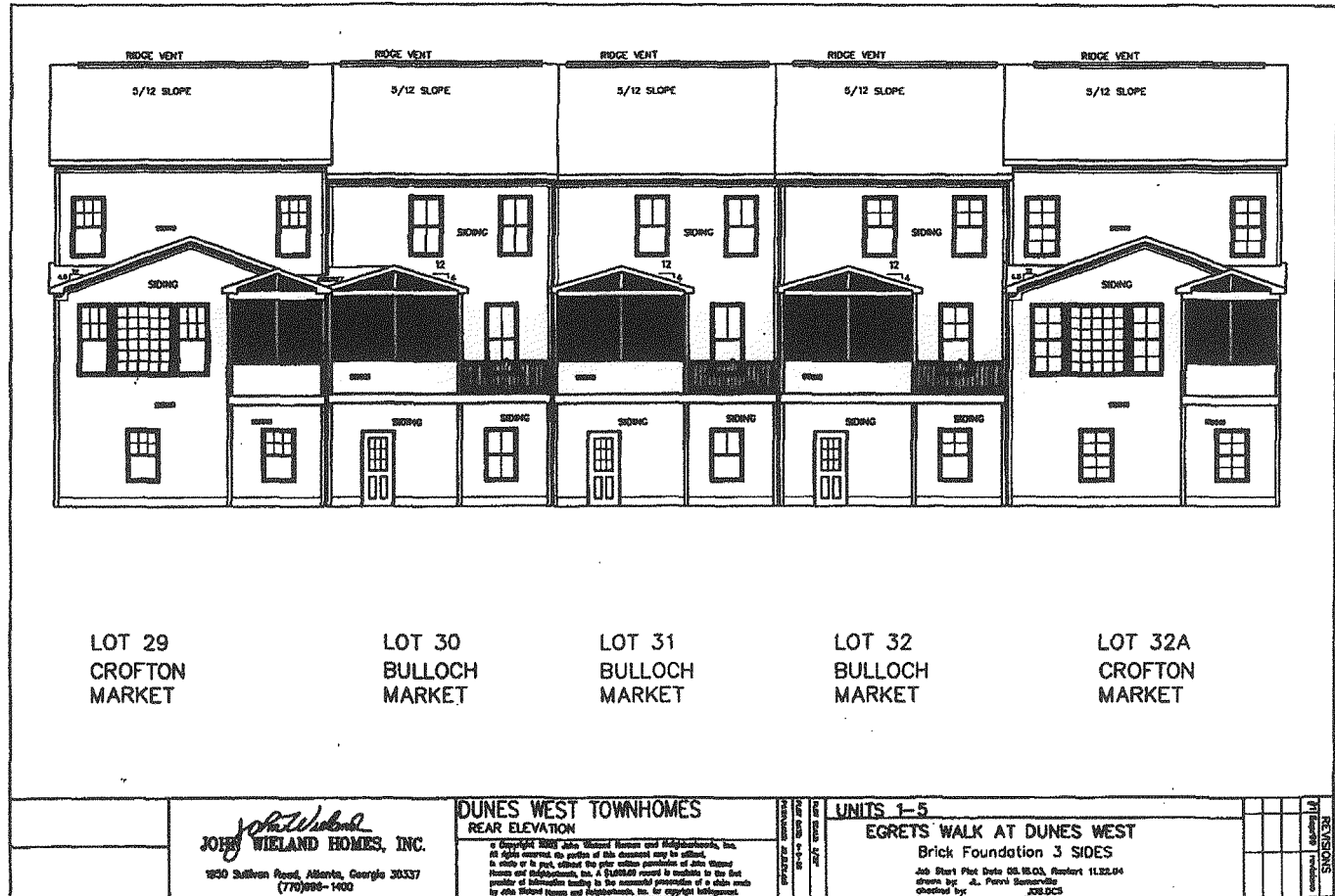


LOT 29
CROFTON
MARKET

	<p><i>John Wieland</i> JOHN WIELAND HOMES, INC. 1880 Sullivan Road, Atlanta, Georgia 30337 (770)908-1400</p>	<p>DUNES WEST TOWNHOMES RIGHT ELEVATION <small>© Copyright 1991 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized in whole or in part without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$250.00 refund is available to the first provider of information leading to the successful procurement of a sales contract by John Wieland Homes and Neighborhoods, Inc. for eligible homebuyers.</small></p>	<p>DATE: 05/18/91 BY: J. P. [unclear]</p>	<p>UNITS 1-5 EGRETS WALK AT DUNES WEST Brick Foundation 3 SIDES <small>Job Start Plot Date 05.18.91, Resident 1122.04 drawn by: J. P. [unclear] checked by: [unclear]</small></p>	<table border="1"> <tr> <td>1</td> <td>2</td> <td>3</td> <td>4</td> <td>5</td> </tr> <tr> <td>6</td> <td>7</td> <td>8</td> <td>9</td> <td>10</td> </tr> <tr> <td>11</td> <td>12</td> <td>13</td> <td>14</td> <td>15</td> </tr> </table>	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
1	2	3	4	5																
6	7	8	9	10																
11	12	13	14	15																

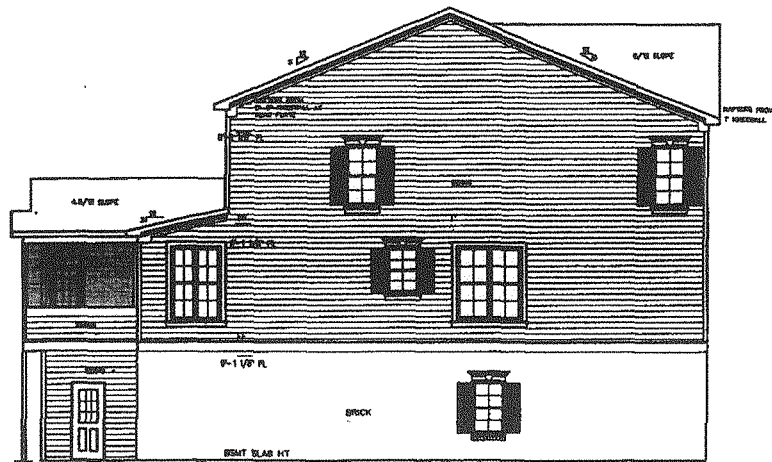
C-29

BK A 533PG674



C-30

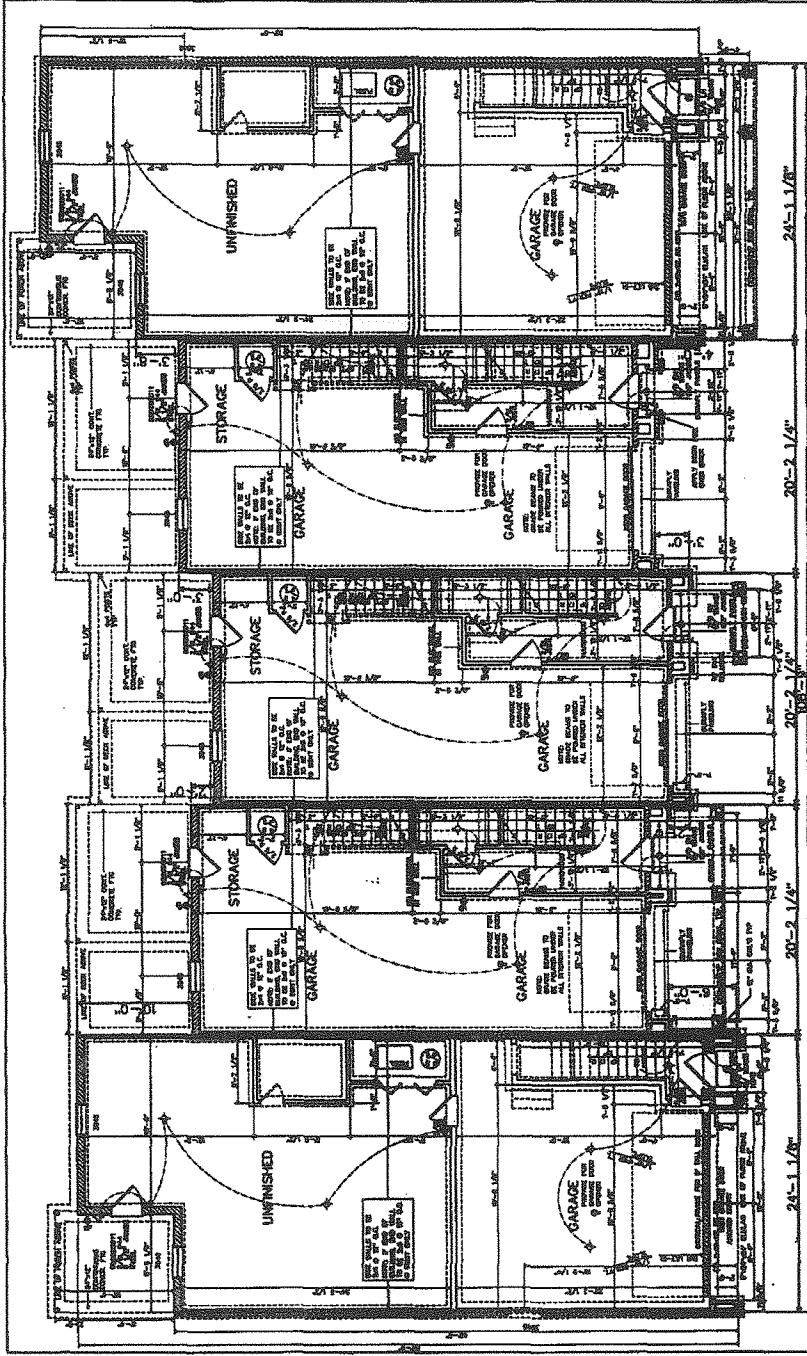
BKA 533PG675



LOT 32A
CROFTON
MARKET

	<p><i>John Wieland</i> JOHN WIELAND HOMES, INC. 1930 Sullivan Road, Atlanta, Georgia 30337 (770)995-1400</p>	<p>DUNES WEST TOWNHOMES LEFT ELEVATION <small>© Copyright 1997 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1,000,000 reward is available to the first provider of information leading to the successful prosecution of a crime made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>UNITS 1-5 EGRETS WALK AT DUNES WEST Brick Foundation 3 SIDES Job Start Prod Date 05.16.03, Rebuild 11.22.04 drawn by J.L. Powell Savannah checked by JDS/DJCS</p>	<p>REVISIONS 01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20</p>
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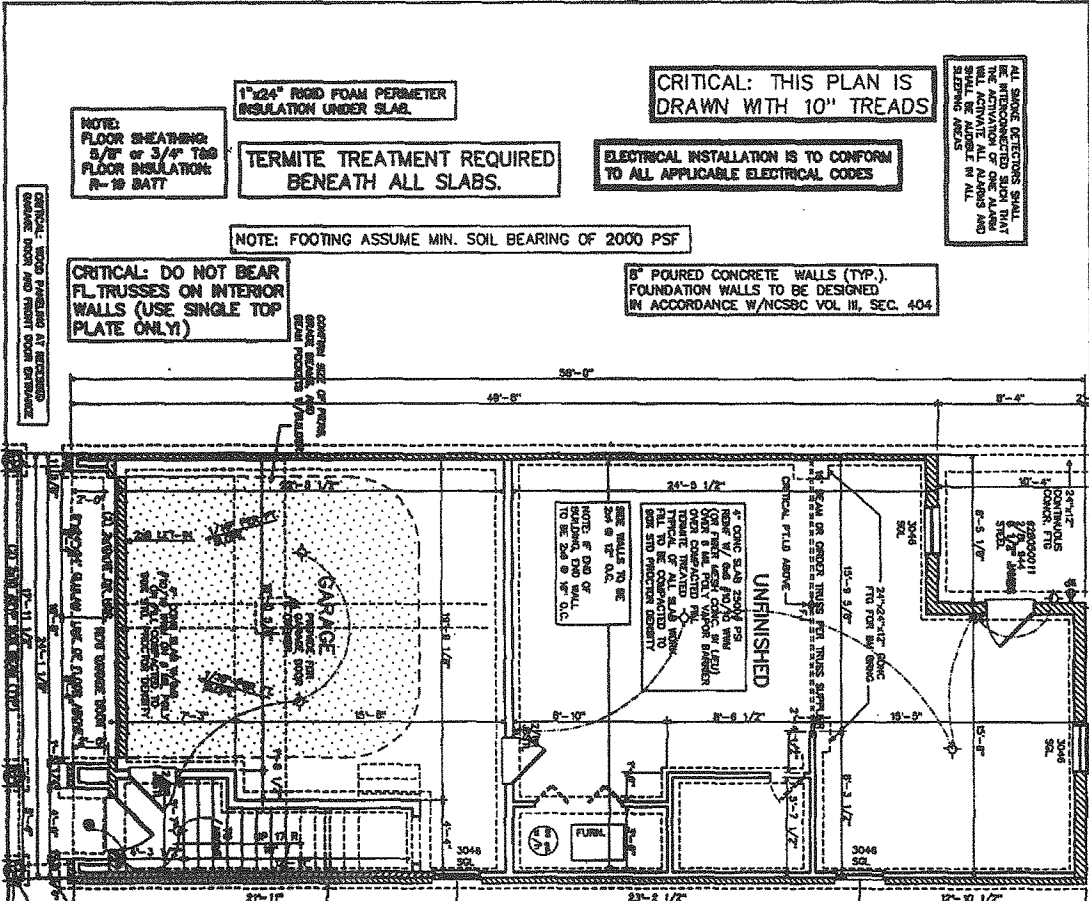
BKA 533PG676



REVISIONS	
No.	Description
1	Final

<p>DUNES WEST TOWNHOMES BUILDING FOUNDATION 1850 Salkin Road, Atlanta, Georgia 30337 (770)995-1400</p>	
<p>UNITS 1-5 EGRETS WALK AT DUNES WEST Brick Foundation 3 Sides Job Sheet Mod. Date 06/03/00, Revision 11/22/04 Drawn By: J. J. Powell Checked By: J. J. Powell</p>	

C-32



NOTE:
FLOOR SHEATHING:
5/8" or 3/4" T&G
FLOOR INSULATION:
R-19 BATT

1"x24" RIGID FOAM PERIMETER
INSULATION UNDER SLAB.

TERMITE TREATMENT REQUIRED
BENEATH ALL SLABS.

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

ELECTRICAL INSTALLATION IS TO CONFORM
TO ALL APPLICABLE ELECTRICAL CODES

ALL SMOKE DETECTORS SHALL
BE INTERCONNECTED SUCH THAT
WHEN ONE DETECTOR IS TRIPPED
ALL OTHERS WILL ALSO TRIP AND
SHALL BE ADAPTED IN ALL
SLEEPING AREAS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

CRITICAL: DO NOT BEAR
FL TRUSSES ON INTERIOR
WALLS (USE SINGLE TOP
PLATE ONLY!)

6" POURED CONCRETE WALLS (TYP.).
FOUNDATION WALLS TO BE DESIGNED
IN ACCORDANCE W/NCSSC VOL III, SEC. 404

CRITICAL: WOOD FRAMING AT RECESSED
CORNER, ROOM PARTIAL AT RECESSED
CORNER FROM AND RIGHT OVER CORNER

CRITICAL: SET OF FORMS
FOR CONCRETE WALLS AND
FOOTINGS TO BE
DESIGNED AND
CONSTRUCTED TO
RESIST ALL
APPLICABLE
LOADS

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

UNFINISHED
CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

A-27

DKA 533PG677

THICKNESS (T)	2-STORY	ABOVE
FRAME	10"	10"
BRICK	12"	12"
WIDTH (W)	15"	17"
FRAME	19"	23"
BRICK	19"	23"

FOOTING DIMENSION
BASED ON SOIL BEARING
CAPACITY OF 2000 PSF.

ALL FOOTINGS TO HAVE 2-#4 REBAR
LONGITUDINALLY

PROJECT
FILE NO. 00-11-17
DATE: 02/17/04

JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)898-1400

**CROFTON
BASEMENT FOUNDATION**

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reward is available to the first person who provides information
leading to the successful prosecution of a claim made by
John Wieland Homes and Neighborhoods, Inc. for copyright infringement.

CHARLESTON

Dunes West-Egrate Walk 29
Siding Four Sides

Job Start Plot Date: 02/17/04, Restart 1122.04
Drawn by: Jeff Hamilton, PS
Checked by: DWENT 1 ALL

REVISIONS

NO.	DATE	DESCRIPTION
1	02/17/04	ISSUED FOR PERMITS
2	02/17/04	ISSUED FOR PERMITS
3	02/17/04	ISSUED FOR PERMITS
4	02/17/04	ISSUED FOR PERMITS
5	02/17/04	ISSUED FOR PERMITS

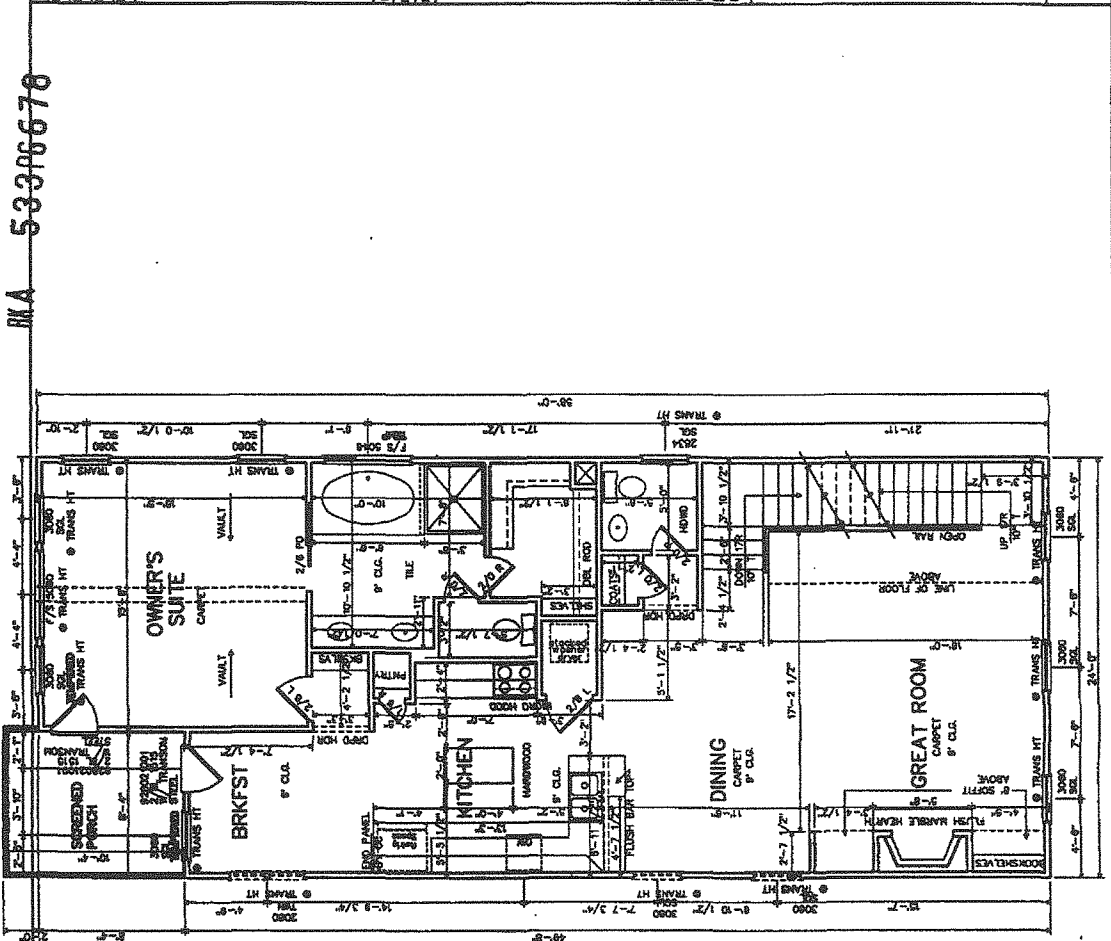
NOT SCALE: 1/8" = 1'-0"

DATE: 02/17/04

SCALE: 3/32"

5336678
R/A

PROJECT NO. TO VIEW	1550 Sullivan Road, Atlanta, Georgia 30337 (770)986-1400
PROJECT FILE NO.	JOHN WELAND HOMES, INC.
DATE	Copyright 2001 John Weland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Weland Homes and Neighborhoods, Inc. A \$1000.00 penalty is assessed to the first person or organization found to be in violation of this agreement. Any third party issues and responsibilities for the copyright infringement.
DESCRIPTION	CROFTON FIRST FLOOR PLAN
REVISIONS	Dunes West-Egrets Walk 29 CHARLESTON Siding Four Sides
Drawn By	W. J. H. Member, P.E.
Checked by	
Plot Date	12-15-02
Plot Time	3:02
Plot Scale	1/4" = 1'-0"
Sheet No.	DWGT 1 ALL



155-0

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

CRITICAL: DO NOT BEAR F.L. TRUSSES ON INTERIOR WALLS (USE SINGLE TOP PLATE ONLY)

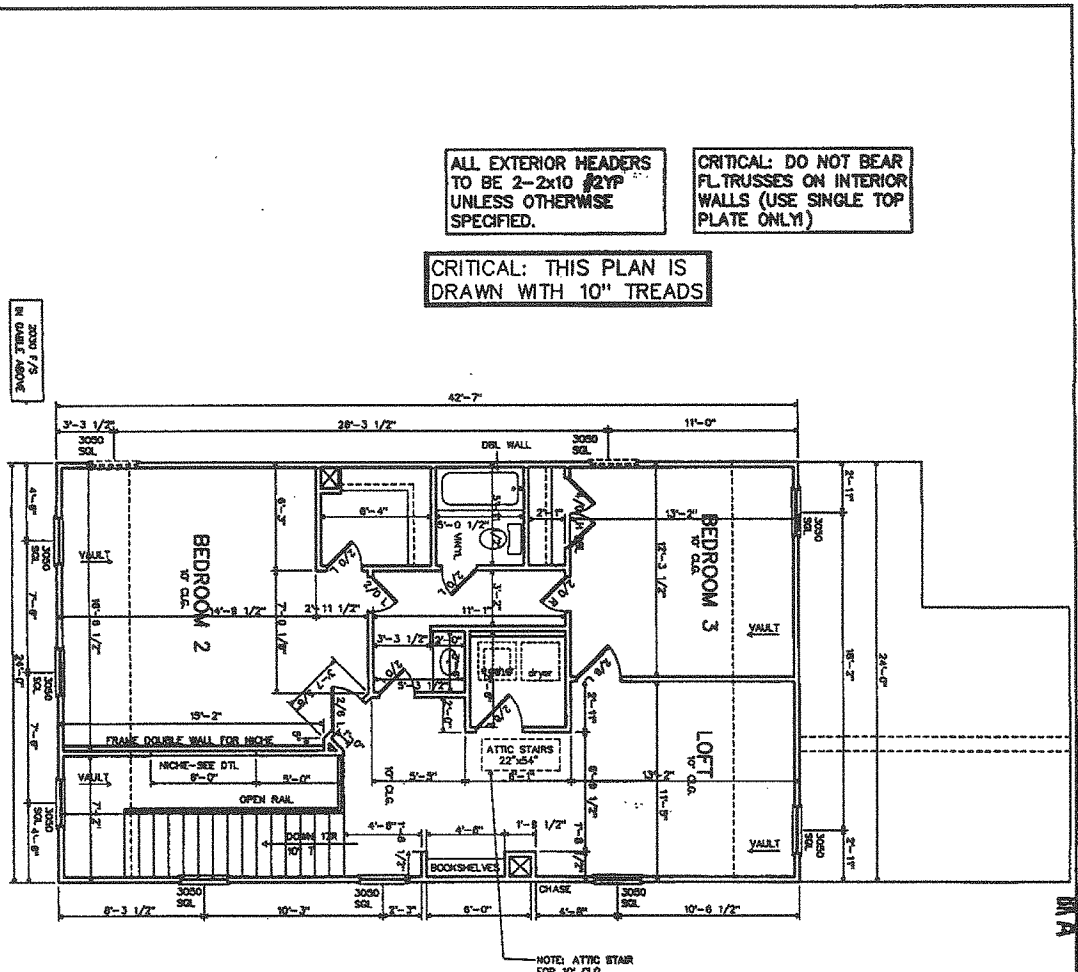
1/2" SHEATHING & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

11/22/04	PS
SQUARE FOOTAGE CHART	
1st Floor Heated	1313 SF
1st Floor Unheated	600 SF
Garage	2000 SF
TOTAL HEATED	1913 SF
Garage	2000 SF
TOTAL	3913 SF

ALL EXTERIOR HEADERS
TO BE 2-2x10 #2YP
UNLESS OTHERWISE
SPECIFIED.

CRITICAL: DO NOT BEAR
FL TRUSSES ON INTERIOR
WALLS (USE SINGLE TOP
PLATE ONLY)

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS



C-35

DKA 533P6879

PROJECT FILE.DCS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON SECOND FLOOR PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a theft made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	PLOT SCALE: 1/8" = 1'-0" PLOT DATE: 12-15-03 PLOT TIME: 3:02	CHARLESTON Dunes West-Egrets Walk 29 Siding Four Sides Job Start Plot Date: 02/17/04, Restart 11.22.04 Drawn by: Jeff Hamilton, PS Checked by: DWHT 1 ALL	REVISIONS 01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
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ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

TERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

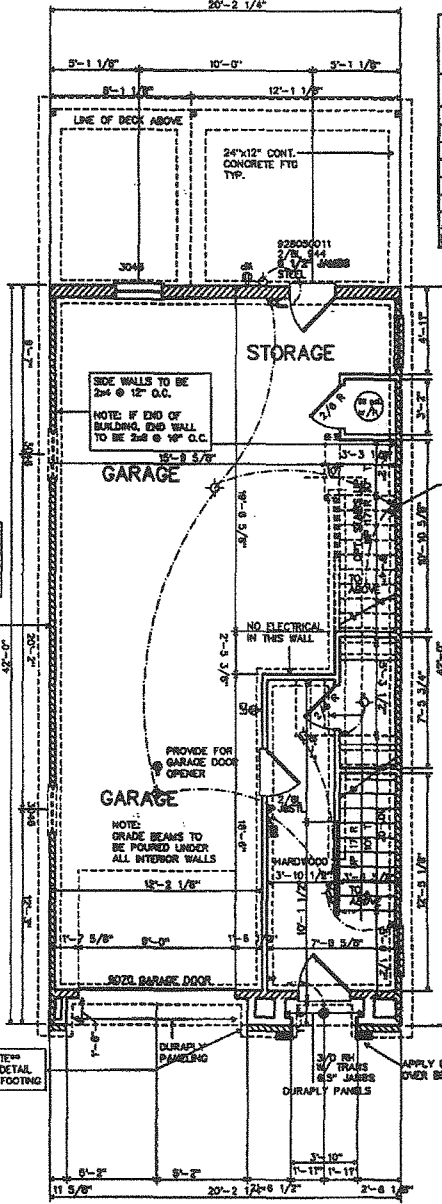
NOTE: FLOOR SHEATHING: 5/8" or 3/4" T&G FLOOR INSULATION: R-19 BATT

NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL


NOTE: SEE DETAIL FOR FOOTING

THICKNESS (T)	FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.	
	2-STORY	ABOVE 2-STORY
FRAME	10"	10"
BRICK	12"	12"
WIDTH (W)		
FRAME	15"	17"
BRICK	18"	23"

ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY



THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILED GO TO VIEW	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400	BULLOCH BASEMENT PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A BUILDING permit is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	LOT SCALE: 1/8" = 1'-0" LOT DIMS: 4'-0" x 8'-0"	CHARLESTON EGRET'S WALK 30 BRICK FND FRONT Job Start Plot Date 05.18.03, 11.22.04 drawn by d. Penni Bernaville checked by	REVISIONS NO. DATE BY 1 05/18/03 JWB 2 11/22/04 JWB

C-36

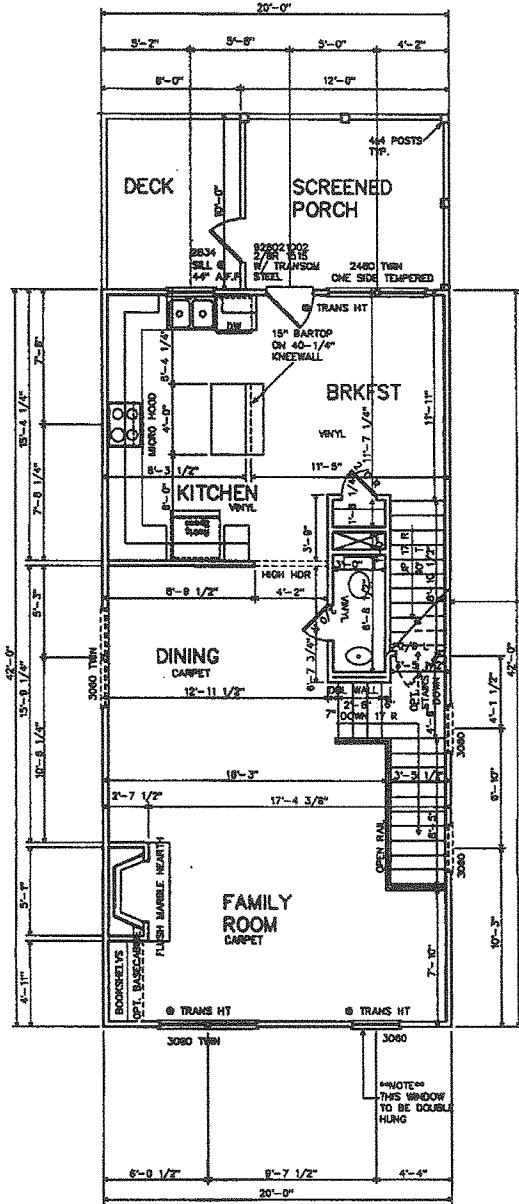
C-37

ALL EXTERIOR HEADERS
TO BE 2-2X10 #2YP
UNLESS OTHERWISE
SPECIFIED.

1/2" SHEATHROCK & INSULATION
ON CHANGE CORNERS AND COMMON
WALLS WITH ROOFSE.

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

NOTE: EXTEND BASEMENT
STUDS @ STAIRS
TO TOP OF FLOOR
JOISTS



NO.	DATE	DESCRIPTION
1	08.16.03	REVISED
2	08.16.03	REVISED
3	08.16.03	REVISED
4	08.16.03	REVISED
5	08.16.03	REVISED
6	08.16.03	REVISED
7	08.16.03	REVISED
8	08.16.03	REVISED
9	08.16.03	REVISED
10	08.16.03	REVISED
11	08.16.03	REVISED
12	08.16.03	REVISED
13	08.16.03	REVISED
14	08.16.03	REVISED
15	08.16.03	REVISED
16	08.16.03	REVISED
17	08.16.03	REVISED
18	08.16.03	REVISED
19	08.16.03	REVISED
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23	08.16.03	REVISED
24	08.16.03	REVISED
25	08.16.03	REVISED
26	08.16.03	REVISED
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28	08.16.03	REVISED
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31	08.16.03	REVISED
32	08.16.03	REVISED
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44	08.16.03	REVISED
45	08.16.03	REVISED
46	08.16.03	REVISED
47	08.16.03	REVISED
48	08.16.03	REVISED
49	08.16.03	REVISED
50	08.16.03	REVISED

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT
FILED CS
GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

BULLOCH
1ST FLOOR PLAN
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LOT SCALE: 1/8"
LOT DATE: 4-3-98
LOT TIME: 10:58

CHARLESTON
EGRET'S WALK 30
BRICK FND FRONT
Job Start Plot Date 08.16.03, 11.22.04
drawn by J. Penn Somerville
checked by

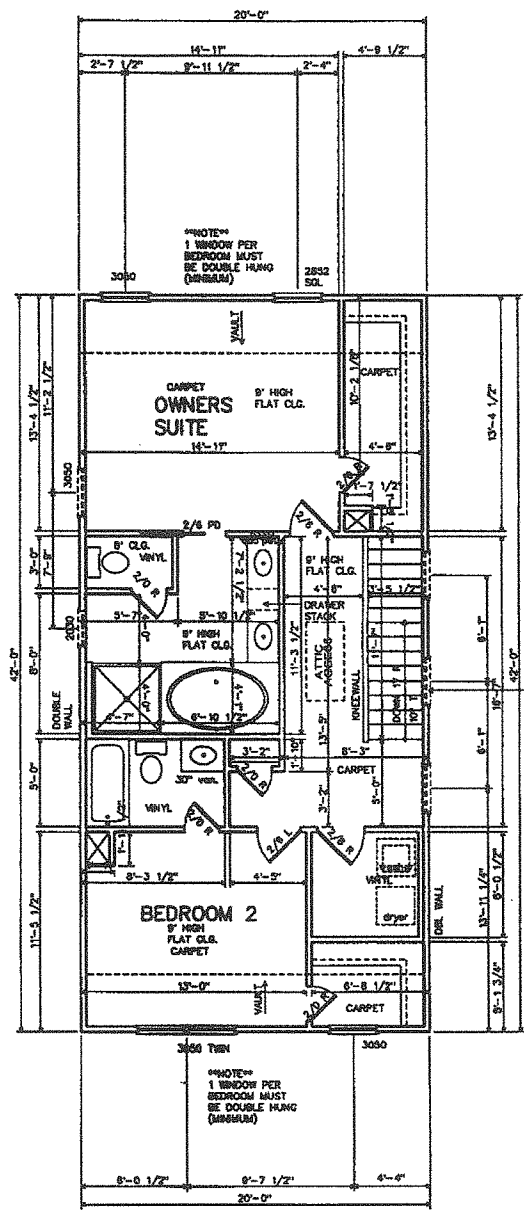
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2	08.16.03	REVISED
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47	08.16.03	REVISED
48	08.16.03	REVISED
49	08.16.03	REVISED
50	08.16.03	REVISED

BKA 533PG682

0-38

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS



NOTE: EXTEND 1ST FLOOR STUDS @ STAIRS TO TOP OF FLOOR JOISTS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

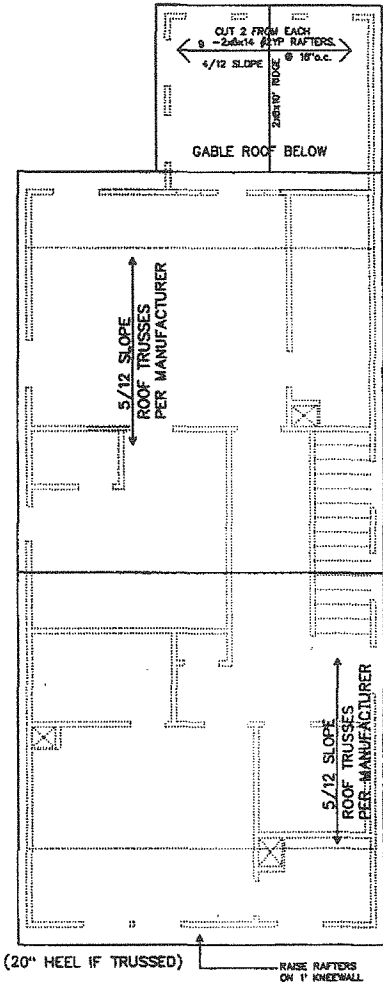
PROJECT FILE.DCS GO TO WEB	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	BULLOCH 2ND FLOOR PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A BULLOCH record is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	LOT SCALE: 1/8" LOT DATE: 6-5-98 LOT TRAC: 10-50	CHARLESTON EGRET'S WALK 30 BRICK FND FRONT <small>Job Start Plat Date 08.18.03, 11.22.04 drawn by J. Penn Somerville checked by</small>		REVISIONS 01 PA 12.2001 02 PA 12.2001 03 PA 12.2001 04 PA 12.2001 05 PA 12.2001 06 PA 12.2001 07 PA 12.2001 08 PA 12.2001 09 PA 12.2001 10 PA 12.2001 11 PA 12.2001 12 PA 12.2001 13 PA 12.2001 14 PA 12.2001 15 PA 12.2001 16 PA 12.2001 17 PA 12.2001 18 PA 12.2001 19 PA 12.2001 20 PA 12.2001 21 PA 12.2001 22 PA 12.2001 23 PA 12.2001 24 PA 12.2001 25 PA 12.2001 26 PA 12.2001 27 PA 12.2001 28 PA 12.2001 29 PA 12.2001 30 PA 12.2001 31 PA 12.2001 32 PA 12.2001 33 PA 12.2001 34 PA 12.2001 35 PA 12.2001 36 PA 12.2001 37 PA 12.2001 38 PA 12.2001 39 PA 12.2001 40 PA 12.2001 41 PA 12.2001 42 PA 12.2001 43 PA 12.2001 44 PA 12.2001 45 PA 12.2001 46 PA 12.2001 47 PA 12.2001 48 PA 12.2001 49 PA 12.2001 50 PA 12.2001 51 PA 12.2001 52 PA 12.2001 53 PA 12.2001 54 PA 12.2001 55 PA 12.2001 56 PA 12.2001 57 PA 12.2001 58 PA 12.2001 59 PA 12.2001 60 PA 12.2001 61 PA 12.2001 62 PA 12.2001 63 PA 12.2001 64 PA 12.2001 65 PA 12.2001 66 PA 12.2001 67 PA 12.2001 68 PA 12.2001 69 PA 12.2001 70 PA 12.2001 71 PA 12.2001 72 PA 12.2001 73 PA 12.2001 74 PA 12.2001 75 PA 12.2001 76 PA 12.2001 77 PA 12.2001 78 PA 12.2001 79 PA 12.2001 80 PA 12.2001 81 PA 12.2001 82 PA 12.2001 83 PA 12.2001 84 PA 12.2001 85 PA 12.2001 86 PA 12.2001 87 PA 12.2001 88 PA 12.2001 89 PA 12.2001 90 PA 12.2001 91 PA 12.2001 92 PA 12.2001 93 PA 12.2001 94 PA 12.2001 95 PA 12.2001 96 PA 12.2001 97 PA 12.2001 98 PA 12.2001 99 PA 12.2001 100 PA 12.2001
				Job Start Plat Date 08.18.03, 11.22.04 drawn by J. Penn Somerville checked by		

BA 533PG683


0.39

ROOF SHEATHING
7/16" SHEATHING

FRAMER NOTE: SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS



(20" HEEL IF TRUSSED) RAISE RAFTERS ON 1" KNEEWALL

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:			
PROJECT FILE NO. GO TO VIEW	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1,000.00 reward is available to the first provider of information leading to the successful prosecution of a crime committed by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 30 BRICK FND FRONT Job Start Plot Date 08.18.03, 11.22.04 drawn by J., Pennil Somerville checked by
DATE	BY	REVISIONS	
08-21-03	JW	1	ISSUED FOR PERMIT
08-21-03	JW	2	REVISED
08-21-03	JW	3	REVISED
08-21-03	JW	4	REVISED
08-21-03	JW	5	REVISED
08-21-03	JW	6	REVISED
08-21-03	JW	7	REVISED
08-21-03	JW	8	REVISED
08-21-03	JW	9	REVISED
08-21-03	JW	10	REVISED

ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

NOTE: FLOOR SHEATHING: 5/8" OR 3/4" T&G FLOOR INSULATION: R-19 BAIT

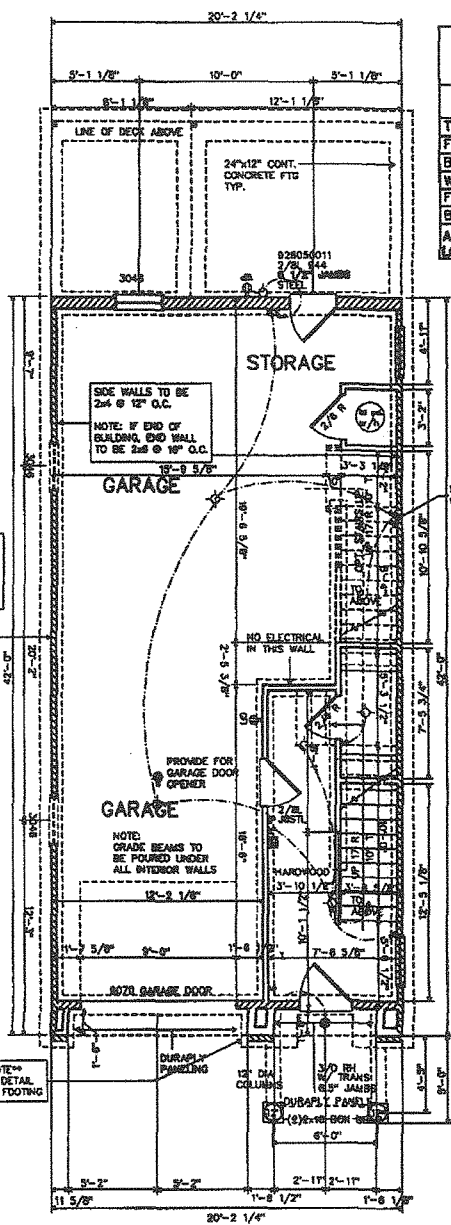
TERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL

NOTE: SEE DETAIL FOR FOOTING

THICKNESS (T)	FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.	
	2-STORY	ABOVE 2-STORY
FRAME	10"	10"
BRICK	12"	12"
WIDTH (W)		
FRAME	15"	17"
BRICK	19"	23"

ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY



07-40

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

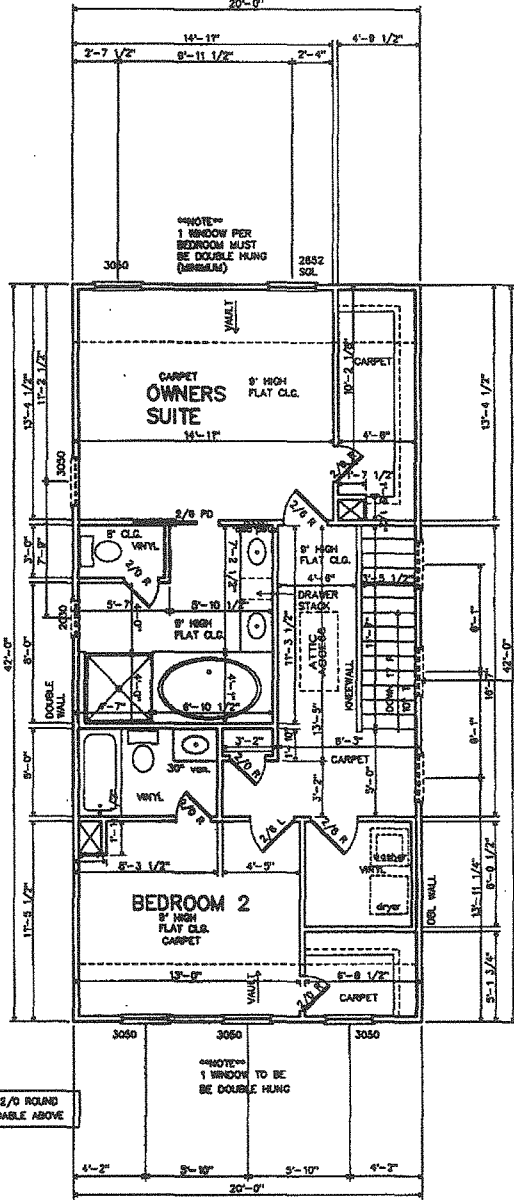
PROJECT FILED/CDS GO TO NEW	<p>JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH BASEMENT PLAN</p> <p>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</p>	<p>CHARLESTON</p> <p>EGRET'S WALK 31</p> <p>BRICK FND FRONT</p> <p>Job Start Plot Date 08.18.03, 11.22.04 drawn by J. Pennel Bismarville checked by</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION						
				NO.	DATE	DESCRIPTION							
<p>NO. SHEETS</p> <p>1 OF 1</p>	<p>DATE</p> <p>11-18-03</p>	<p>SCALE</p> <p>1/8" = 1'-0"</p>	<p>CHECKED BY</p> <p>J. Pennel</p>										

BKA 533PG686

C-42

ALL EXTERIOR HEADERS
TO BE 2x10 #2YP
UNLESS OTHERWISE
SPECIFIED.

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS



NOTE: EXTEND 1ST FLOOR
STUDS & STAIRS
TO TOP OF FLOOR
JOISTS

2/0 ROUND
IN GABLE ABOVE

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT
FILEDCS
GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

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2ND FLOOR PLAN
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PLAT DATES 4-8-99
PLAT TALK: 2001 DEC 06

CHARLESTON
EGRET'S WALK 31
BRICK FND FRONT
Job Start Plat Date 08.18.03, 11.22.04
drawn by J. Penni Somerville
checked by

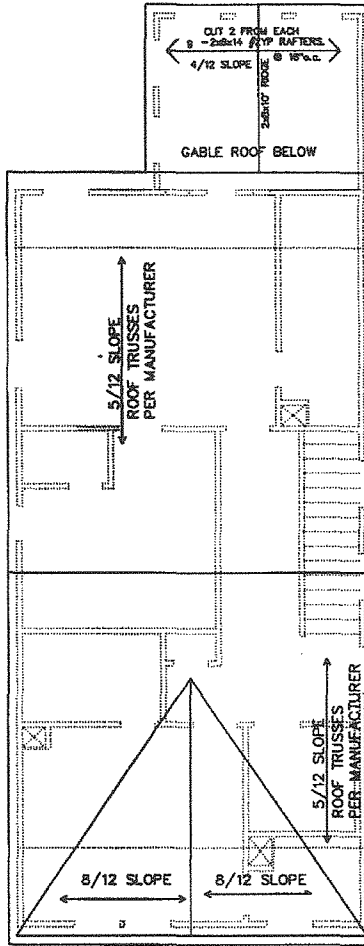
REVISIONS
1. 08.18.03
2. 11.22.04

BK A 533PG687

C-43

FRAMER NOTE: SEE FRAMERS MANUAL FOR STANDARD FRAMING DETAILS

ROOF SHEATHING
7/16" SHEATHING



(20" HEEL IF TRUSSED)

RAISE RAFTERS ON 1" KNEEWALL

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILEDCS GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

BULLOCH ROOF FRAMING

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LOT DATE: 4-6-99
LOT AREA: 26,798

CHARLESTON
EGRET'S WALK 31
BRICK FND FRONT
Job Start Plot Date 06.18.03, 11.22.04
drawn by J.L. Pennil Somerville
checked by

NO.	DATE	REVISIONS
1	06/18/03	ISSUED FOR PERMITS
2	11/22/04	REVISED PER PERMITS

ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

NOTE: FLOOR SHEARWALLS 5/8" T&G FLOOR INSULATION: R-10 BATT

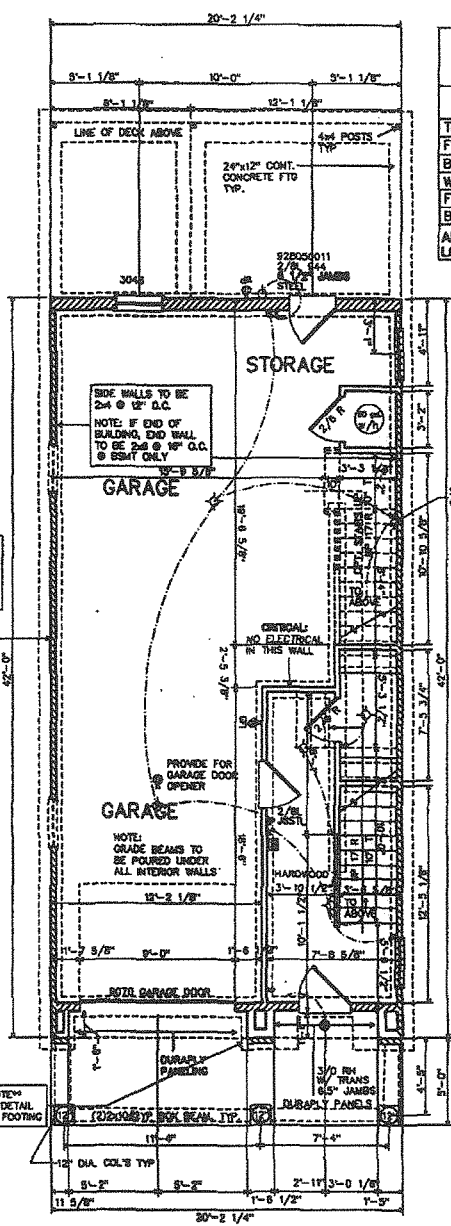
TERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL

NOTE: SEE DETAIL FOR FOOTING

THICKNESS (T)	FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.	
	2-STORY	ABOVE 2-STORY
FRAME	10"	10"
BRICK	12"	12"
WIDTH (W)		
FRAME	15"	17"
BRICK	19"	23"

ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY



THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

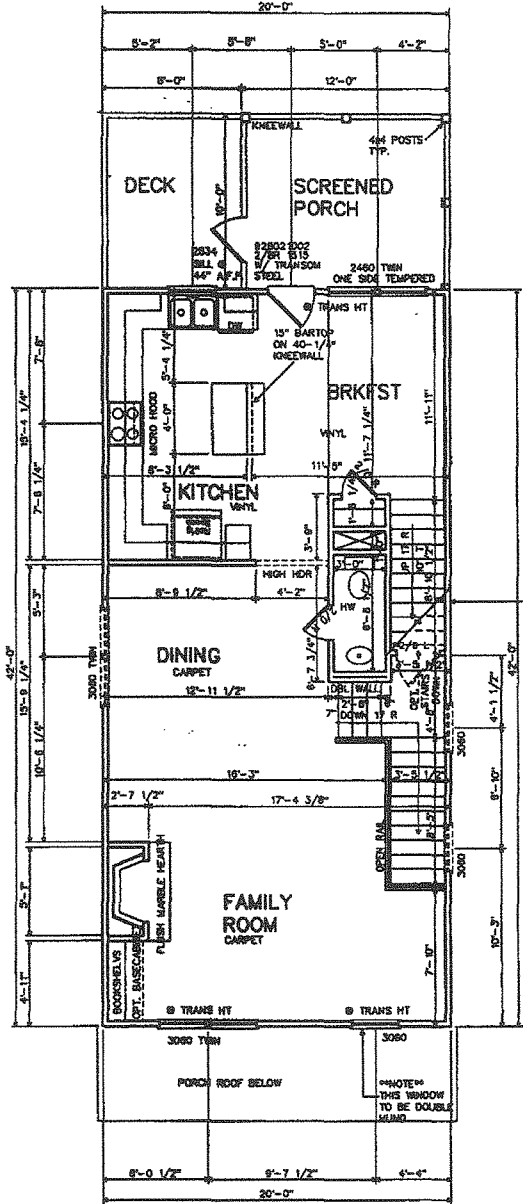
PROJECT FILE: 005 GO TO VIEW	BULLOCH BASEMENT PLAN	DATE: 10-29-04	SCALE: 1/8" = 1'-0"
JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400	Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.	LOT: 10-29-04	REVISIONS:
	CHARLESTON EGRET'S WALK 32	DATE: 10-29-04	NO. 1
	BRICK FND FRONT	DATE: 11-22-04	NO. 2
	Job Start Plot Data 06-18-03, 11-22-04	DATE: 11-22-04	NO. 3
	drawn by J. Penni Somerville	DATE: 11-22-04	NO. 4
	checked by	DATE: 11-22-04	NO. 5

C-45

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

1/2" SHEATHROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS



NOTE EXTEND BASEMENT STUDS @ STAIRS TO TOP OF FLOOR JOISTS

NOTE THIS WINDOW TO BE DOUBLE GLAZED

11/22/04 PJ

SQUARE FOOTAGE CHART	
1st Floor Heated	840 SF
2nd Floor Heated	540 SF
3rd Floor Heated	140 SF
4th Floor Heated	180 SF
5th Floor Heated	180 SF
6th Floor Heated	180 SF
7th Floor Heated	180 SF
8th Floor Heated	180 SF
9th Floor Heated	180 SF
10th Floor Heated	180 SF
11th Floor Heated	180 SF
12th Floor Heated	180 SF
13th Floor Heated	180 SF
14th Floor Heated	180 SF
15th Floor Heated	180 SF
16th Floor Heated	180 SF
17th Floor Heated	180 SF
18th Floor Heated	180 SF
19th Floor Heated	180 SF
20th Floor Heated	180 SF
21st Floor Heated	180 SF
22nd Floor Heated	180 SF
23rd Floor Heated	180 SF
24th Floor Heated	180 SF
25th Floor Heated	180 SF
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31st Floor Heated	180 SF
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36th Floor Heated	180 SF
37th Floor Heated	180 SF
38th Floor Heated	180 SF
39th Floor Heated	180 SF
40th Floor Heated	180 SF
41st Floor Heated	180 SF
42nd Floor Heated	180 SF
43rd Floor Heated	180 SF
44th Floor Heated	180 SF
45th Floor Heated	180 SF
46th Floor Heated	180 SF
47th Floor Heated	180 SF
48th Floor Heated	180 SF
49th Floor Heated	180 SF
50th Floor Heated	180 SF

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILEDCS GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
 1950 Sullivan Road, Atlanta, Georgia 30337
 (770)986-1400

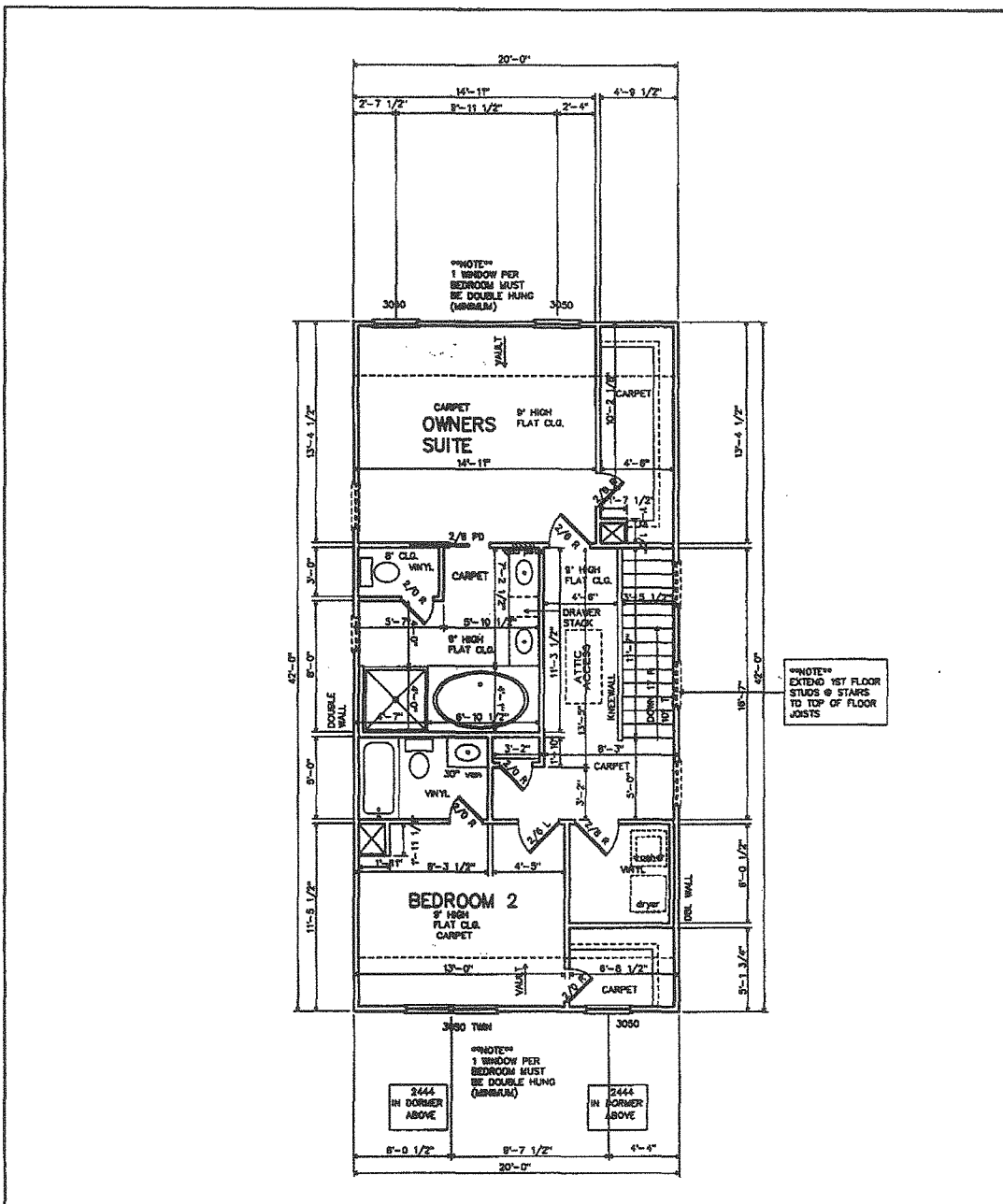
BULLOCH
1ST FLOOR PLAN
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PLOT SCALE: 1/8" = 1'-0"
 PLOT DATE: 4-5-08
 PLOT TIME: 10:50

CHARLESTON
EGRET'S WALK 32
BRICK FND FRONT
 Job Start Plot Date 04.15.03, 11.22.04
 drawn by J. Penn Somerville
 checked by

REVISIONS	
NO.	DATE
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3	04.15.03
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C-46



THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

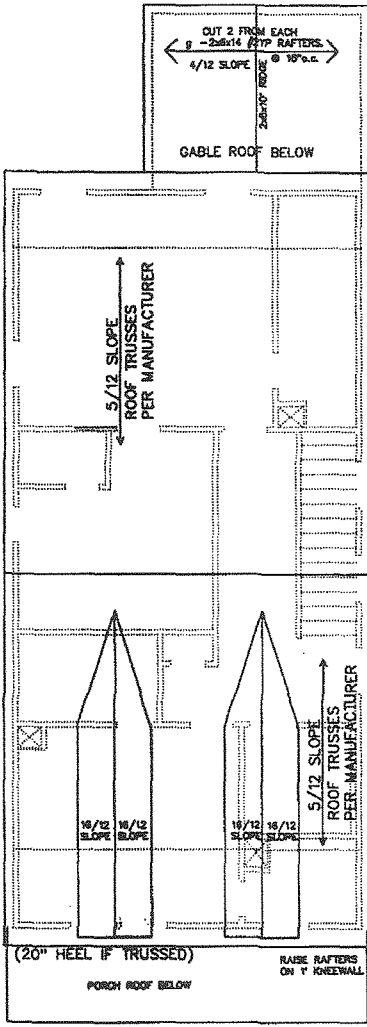
<p>PROJECT FILEDCS GO TO VIEW</p>	<p><i>John Wieland Homes</i> JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH 2ND FLOOR PLAN <small>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$10,000 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>PLAT NO. 10-200</p>	<p>CHARLESTON EGRET'S WALK 32 BRICK FND FRONT Job Start Plat Date 06.16.03, 11.22.04 drawn by J. Penni Samervilla checked by</p>	<p>REVISIONS</p> <table border="1"> <tr><td>1</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>2</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>3</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>4</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>5</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>6</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>7</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>8</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>9</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> <tr><td>10</td><td>06.16.03</td><td>1</td><td>06.16.03</td></tr> </table>	1	06.16.03	1	06.16.03	2	06.16.03	1	06.16.03	3	06.16.03	1	06.16.03	4	06.16.03	1	06.16.03	5	06.16.03	1	06.16.03	6	06.16.03	1	06.16.03	7	06.16.03	1	06.16.03	8	06.16.03	1	06.16.03	9	06.16.03	1	06.16.03	10	06.16.03	1	06.16.03
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BKA 533PG691


Lh-2

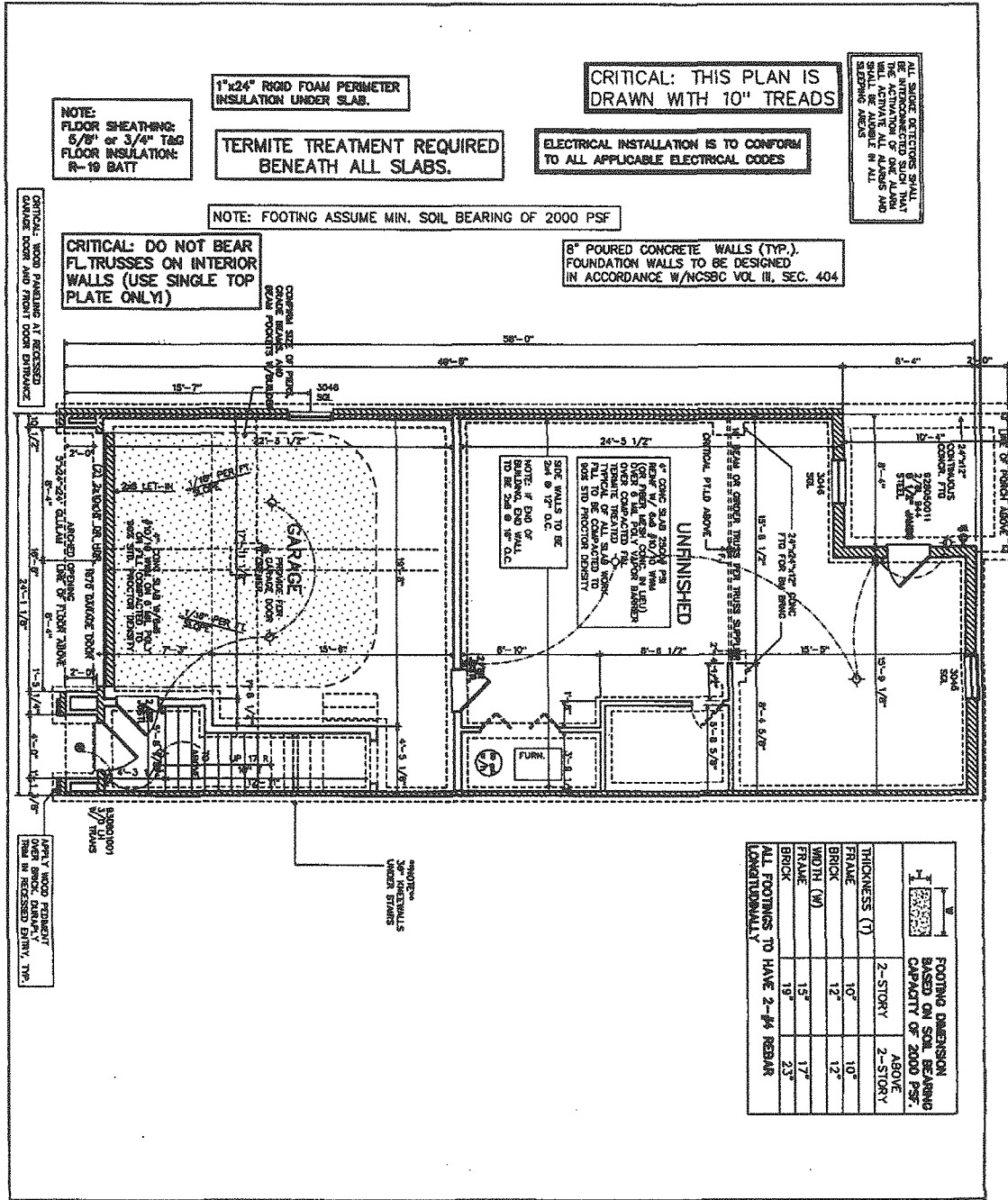
ROOF SHEATHING
7/16" SHEATHING

FRAMER NOTE: SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS



THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILE NO. GO TO VIEW	 JOE WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 Joe Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of Joe Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by Joe Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	PLOT DATE: 4-5-99 PLOT TIME: 10:58	CHARLESTON EGRET'S WALK 32 BRICK FND FRONT Job Start Plot Date 06.19.03, 11.22.04 drawn by J. Pamel Starnerville checked by	REVISIONS NO. DATE BY 1 06.19.03 J.P.S. 2 11.22.04 J.P.S.
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NOTE:
FLOOR SHEATHING:
5/8" or 3/4" T&G
FLOOR INSULATION:
R-19 BATT

1"x24" RIGID FOAM PERIMETER
INSULATION UNDER SLAB.

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

TERMITE TREATMENT REQUIRED
BENEATH ALL SLABS.

ELECTRICAL INSTALLATION IS TO CONFORM
TO ALL APPLICABLE ELECTRICAL CODES

ALL SMOKE DETECTORS SHALL
BE INTERCONNECTED SUCH THAT
WHEN ONE DETECTOR IS TRIPPED
ALL DETECTORS WILL BE TRIPPED
AND SHALL BE ALARMS IN ALL
BEDROOMS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

CRITICAL: DO NOT BEAR
FL. TRUSSES ON INTERIOR
WALLS (USE SINGLE TOP
PLATE ONLY)

8" POURED CONCRETE WALLS (TYP.).
FOUNDATION WALLS TO BE DESIGNED
IN ACCORDANCE W/NCSCC VOL. II, SEC. 404

CRITICAL: WOOD FRAMING AT RECESSED
CORNER JOINTS AND FROM CORNER JOINTS

C-48

THICKNESS (T)	2-STORY	ABOVE	2-STORY
FRAME	10"	10"	
BRICK	12"	12"	
WIDTH (W)	15"	17"	
FRAME	19"	23"	
BRICK			

FOOTING DIMENSION
BASED ON SOIL BEARING
CAPACITY OF 2000 PSF.

ALL FOOTINGS TO HAVE 2-#4 REBAR
LONGITUDINALLY

PROJECT FILED/CS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON BASEMENT FOUNDATION <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be without its whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100,000 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON Dunes West-Egrets Walk 32 A Siding Four Sides Job Start Plot Date: 02/17/04 Restart: 11.22.04 Drawn by: Jeff Hamilton, Pencil: Genevieve Checked by: DREW S. ALL	REVISIONS NO. DATE BY 1 02/20/04 JWA 2 02/20/04 JWA 3 02/20/04 JWA 4 02/20/04 JWA 5 02/20/04 JWA
			PLANT SCALE: 1/8" = 1'-0" PLOT DATE: 2-18-04 PLOT TIME: 3:02	

BKA 533PG693

CRITICAL: DO NOT BEAR
FL. TRUSSES ON INTERIOR
WALLS (USE SINGLE TOP
PLATE ONLY.)

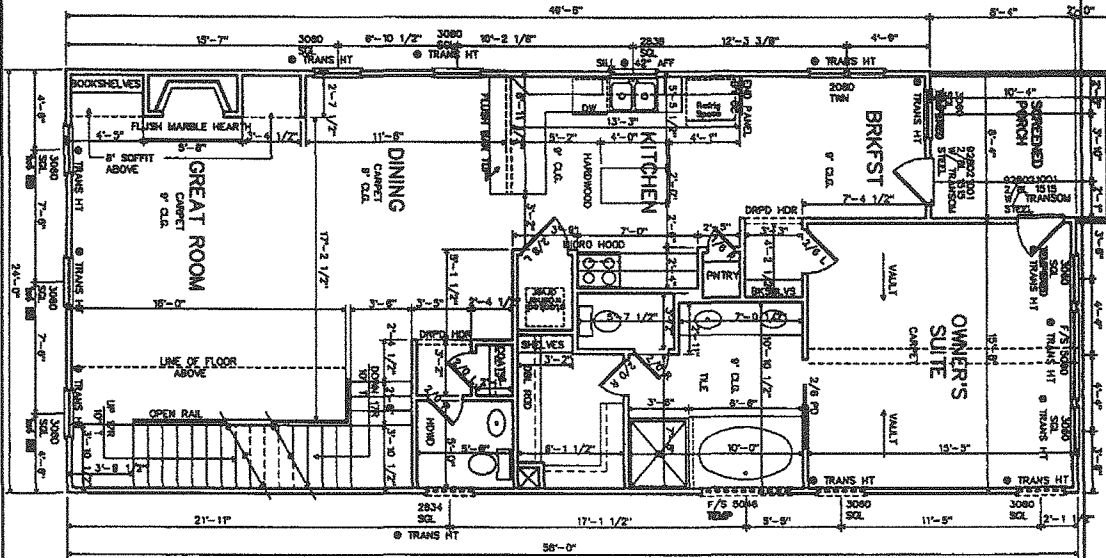
1/2" SHEETROCK & INSULATION
ON GARAGE CEILING AND COMMON
WALLS WITH HOUSE.

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS
TO BE 2-2x10 #2YP
UNLESS OTHERWISE
SPECIFIED.

1/2" SHEETROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.	1/2" SHEETROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.
CRITICAL: DO NOT BEAR FL. TRUSSES ON INTERIOR WALLS (USE SINGLE TOP PLATE ONLY.)	CRITICAL: DO NOT BEAR FL. TRUSSES ON INTERIOR WALLS (USE SINGLE TOP PLATE ONLY.)
CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS	CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS
ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.	ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

C-49



PROJECT FILES GO TO VIEW	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON FIRST FLOOR PLAN <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a crime committed by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON Dunes West-Egrets Walk 32 A Siding Four Sides Job Start First Date: 02/17/04 Restart: 11.22.04 Drawn by: Jeff Hamilton, Penni Somerville Checked by: DNEWT S. ALL	REVISIONS NO. DATE BY DESCRIPTION 01 02/17/04 JH Initial 02 03/02/04 JH Initial 03 03/12/04 JH Initial 04 03/12/04 JH Initial 05 03/12/04 JH Initial 06 03/12/04 JH Initial
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BKA 533PG694

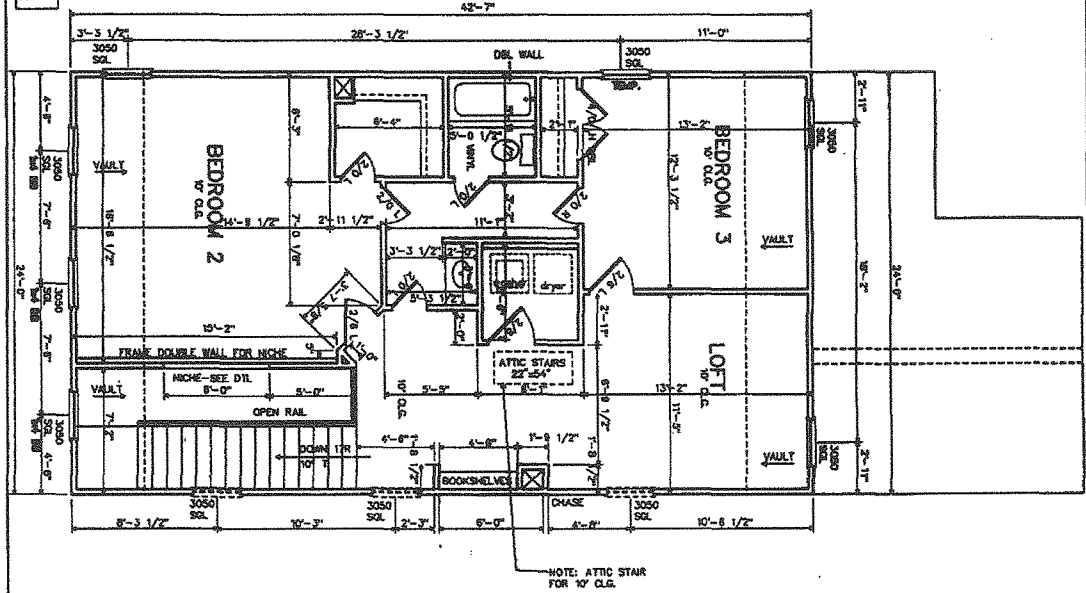
ALL EXTERIOR HEADERS
TO BE 2-2x10 #2YP
UNLESS OTHERWISE
SPECIFIED.

CRITICAL: DO NOT BEAR
FL. TRUSSES ON INTERIOR
WALLS (USE SINGLE TOP
PLATE ONLY!)

CRITICAL: THIS PLAN IS
DRAWN WITH 10" TREADS

3050 F/S
N DATE ADIC

C-50



NOTE: ATRIC STAIR
FOR 10' C.L.G.

<p>PROJECT FILED GO TO WEB</p>	<p><i>John Wieland</i> JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)986-1400</p>	<p>CROFTON SECOND FLOOR PLAN</p> <p><small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$4,995.00 record is available to the first provider of information leading to the successful presentation of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>PLAN DATE: 02-17-04 JOB NO: 02-17-04</p>	<p>CHARLESTON</p> <p>Dunes West - Egrets Walk 32 A Siding Four Sides</p> <p>Job Start Plot Date: 02/17/04 Roostert 11.23.04 Drawn by: Jeff Hamilton, Pencil Services Checked by: [Signature]</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION									
NO.	DATE	DESCRIPTION															

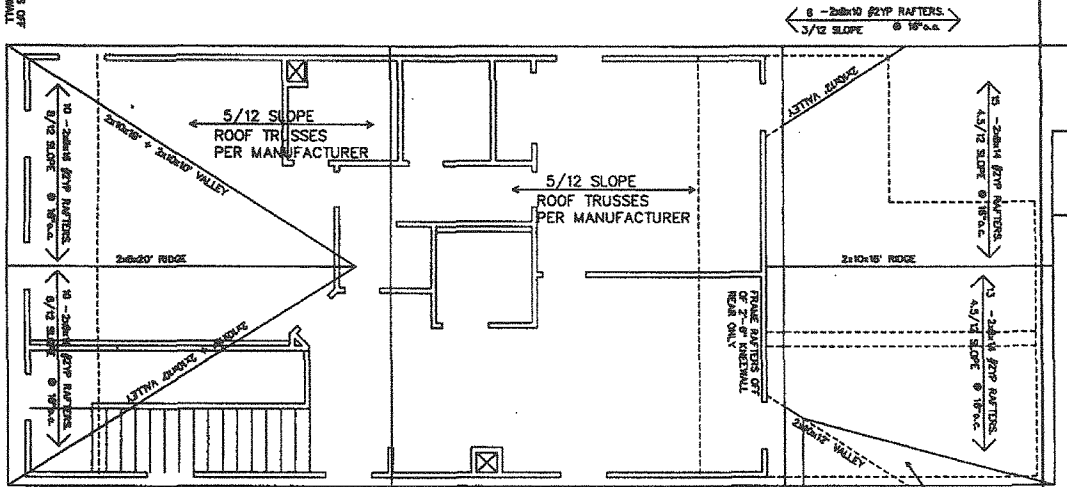
BKA 533PG695

FRAMER NOTE: SEE FRAMER'S MANUAL FOR STANDARD FRAMING DETAILS

ROOF SHEATHING
7/16" SHEATHING

FRAME RAFTERS OF
OF 1" OF ROOFWALL
(THIS AREA IS THUSSED)

C-51



MAIN ROOF PER TRUSS SUPPLIER

GENERAL CONTRACT AS
REQUIRED PER UNIT OTHERS
BUILDER TO VERIFY.

PROJECT FILED/CDS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a crime made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	PLOT SCALE: 1/8" = 1'-0" PLOT DATE: 12-09-02 PLOT TIME: 3:02	CHARLESTON Dunes West-Egrets Walk 32 A Siding Four Sides Job Start Plot Date: 02/17/04 Reorder 1122-04 Drawn by: Jeff Hamilton, Panel Somerville Checked by: DREW S. ALL	REVISIONS 01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
					01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

BKA 533PG696

In Egrets Walk Horizontal Property Regime

<p><small>PROPERTY FILED FOR RECORD</small></p> <p><i>Johnnie</i></p> <p>JOHN WIELAND HOMES, INC.</p> <p><small>1830 Collier Road, Atlanta, Georgia 30327 (404)994-1400</small></p>	<p>DUNES WEST EGRET'S WALK BUILDING ELEVATION - FRONT</p> <p><small>THIS DRAWING IS THE PROPERTY OF JOHN WIELAND HOMES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN WIELAND HOMES, INC.</small></p>	<p style="text-align: center;">CHARLESTON</p> <p>EGRET'S WALK - Units 33-38</p> <p>SIDING 4 SIDES</p> <p><small>As Noted Plot Book 6842041 Shown on Plat Book 6842041 Checked by Jeff Gordon</small></p>	<p>The undersigned hereby certifies that the area, dimensions, and location of the units are accurately reflected to the best of my knowledge.</p> <p>Date: <u>4/10/05</u> Signed: <u>Stephen S. Caskie, PE, LLC</u></p>
--	---	---	--

SOUTH CAROLINA
STEPHEN S. CASKIE, PE, LLC
No. C01851
STATE OF SOUTH CAROLINA
CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
PROFESSIONAL ENGINEER
No. 9806
STEPHEN S. CASKIE, PE, LLC

C-52

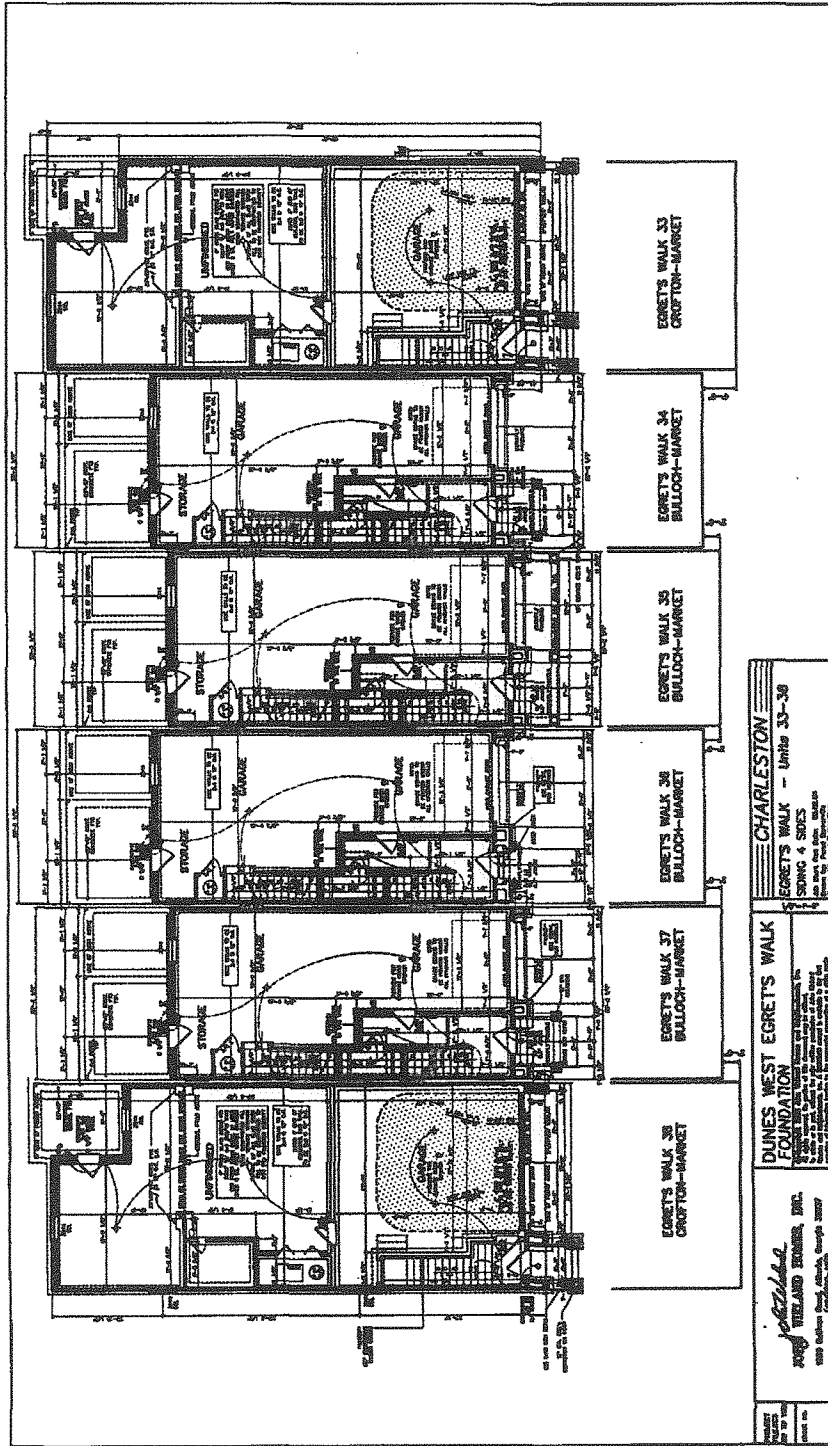
BA 533PG697

DUNES WEST - EGRETTS WALK 28 CHARLESTON MARKET
 DUNES WEST - EGRETTS WALK 29 CHARLESTON MARKET
 DUNES WEST - EGRETTS WALK 30 CHARLESTON MARKET
 DUNES WEST - EGRETTS WALK 31 CHARLESTON MARKET
 DUNES WEST - EGRETTS WALK 32 CHARLESTON MARKET

DUNES WEST EGRETTS WALK BUILDING ELEVATION - REAR
 CHARLESTON EGRETTS WALK - Units 33-38
 DRAWING 4 SIDES
 FOR THE ARCHITECT
 1000 SOUTH BAY STREET, CHARLOTTE, NORTH CAROLINA 28207
 JAY WELLS ARCHITECTS, INC.
 1000 SOUTH BAY STREET, CHARLOTTE, NORTH CAROLINA 28207
 1998-1999

C-53

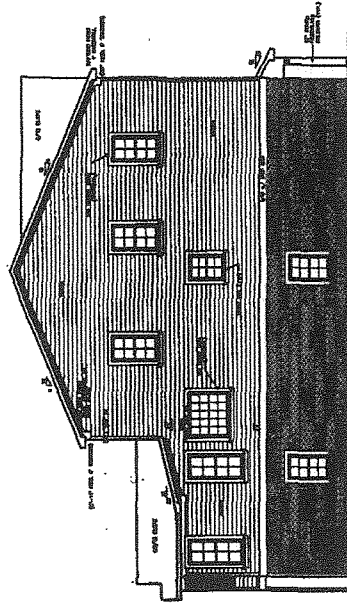
BKA 533PG698



DUNES WEST EGRET'S WALK
 FOUNDATION
 1000 WILSON AVENUE, CHARLOTTE, N.C. 28207
 704-375-1111
 1988
 CHARLESTON
 EGRET'S WALK - Units 33-38
 SIGNED & SEALED
 FOR THE ARCHITECT
 BY THE CONTRACTOR
 DATE: 10/15/88
 PROJECT NO. 28-1000

C-54

KA 53396699

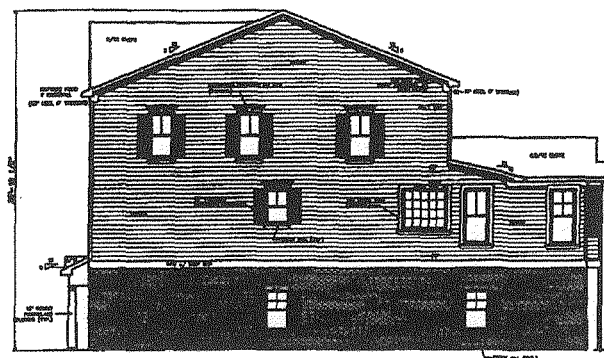


DUNES WEST -
EGRET'S WALK 36
CROFTON
MARKET

<p>PROJECT NO. 100-1000000000</p>	<p><i>Richard Bowers, Inc.</i> RICHARD BOWERS, INC. 1000 Lakeside Drive, Atlanta, Georgia 30307 (404) 525-1000</p>	<p>DUNES WEST EGRET'S WALK BUILDING ELEVATION-LEFT 1/8" = 1'-0" DATE: 10/15/00 DRAWN BY: R. BOWERS CHECKED BY: R. BOWERS</p>	<p>CHARLESTON EGRET'S WALK - Units 35-38 STORY 4 SIDES DATE: 10/15/00 DRAWN BY: R. BOWERS</p>
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C-55

AKA 533PG700



DUNES WEST -
EGRET'S WALK 33
CROFTON
MARKET

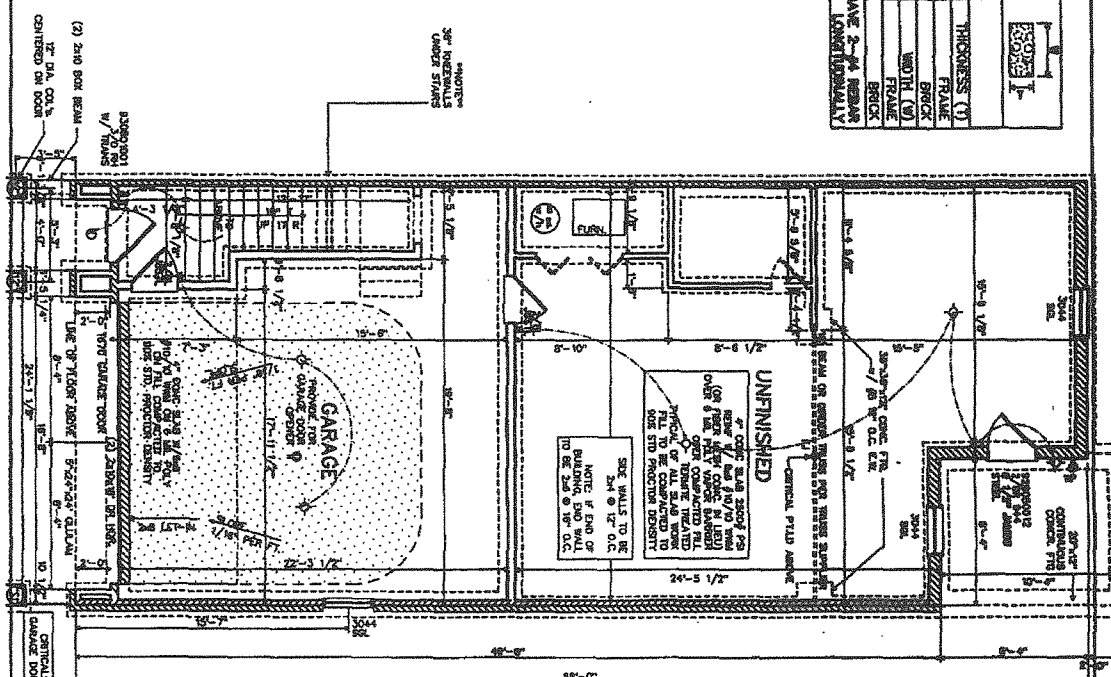
PROJECT FILED NO. 10 101 SHEET NO.	 JOSEPH WIELAND ROMER, INC. 1800 Oakton Road, Atlanta, Georgia 30327 (404)525-1922	DUNES WEST EGRET'S WALK BUILDING ELEVATION - RIGHT ARCHITECTURAL FIRM: JOSEPH WIELAND ROMER AND ASSOCIATES, INC. IN FULL COMPLIANCE WITH THE PROVISIONS OF THE ARCHITECTURE ACT OF 1968 AND THE ARCHITECTURE ACT OF 1977, THE ARCHITECT HAS REVIEWED THE DRAWINGS AND CERTIFIES THAT THEY ACCURATELY REPRESENT THE WORK TO BE PERFORMED BY THE CONTRACTOR. THE ARCHITECT'S REVIEW IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE DRAWINGS AND DOES NOT EXTEND TO THE WORK OF OTHER TRADES OR TO THE WORK OF ANY SUBCONTRACTOR OR TO THE WORK OF ANY OTHER TRADE OR TO THE WORK OF ANY OTHER TRADE OR TO THE WORK OF ANY OTHER TRADE.	CHARLESTON EGRET'S WALK - Units 33-38 SIDING 4 SIDS JOB NO. 101 101 SHEET NO. 101 101
	ALL RIGHTS RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT.		

C-56

BKA 533PG701

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.		
2-STORY ABOVE	2-STORY	THICKNESS (T)
10"	10"	FRAME BRICK
12"	12"	FRAME BRICK
17"	15"	FRAME BRICK
25"	18"	FRAME BRICK

ALL FOOTINGS TO HAVE 2" MIN. REBAR LONGITUDINALLY



C-57

PLATE ONLY
WALLS (USE SINGLE TOP FL TRUSSES ON INTERIOR)
CRITICAL: DO NOT BEAR

IN ACCORDANCE W/NCSC VOL III, SEC. 404
FOUNDATION WALLS TO BE DESIGNED
8" POURED CONCRETE WALLS (TYP.)

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

R-19 BATT FLOOR INSULATION:
5/8" or 3/4" TAG FLOOR SHEATHING.
NOTE:

BENEATH ALL SLABS.
TERMITE TREATMENT REQUIRED

TO ALL APPLICABLE ELECTRICAL CODES
ELECTRICAL INSTALLATION IS TO CONFORM

INSULATION UNDER SLAB.
1"x24" RIGID FOAM PERIMETER

DRAWN WITH 10" TREADS
CRITICAL: THIS PLAN IS

ALL SHOWN DIMENSIONS SHALL BE THE DIMENSIONS OF THE CONCRETE WALLS. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

RIGHT-HAND DRIVE

PROJECT FILEDCS GO TO VIEW

John Wieland
JOHN WIELAND HOMES, INC.
1850 Sullivan Road, Atlanta, Georgia 30337
(770)996-1400

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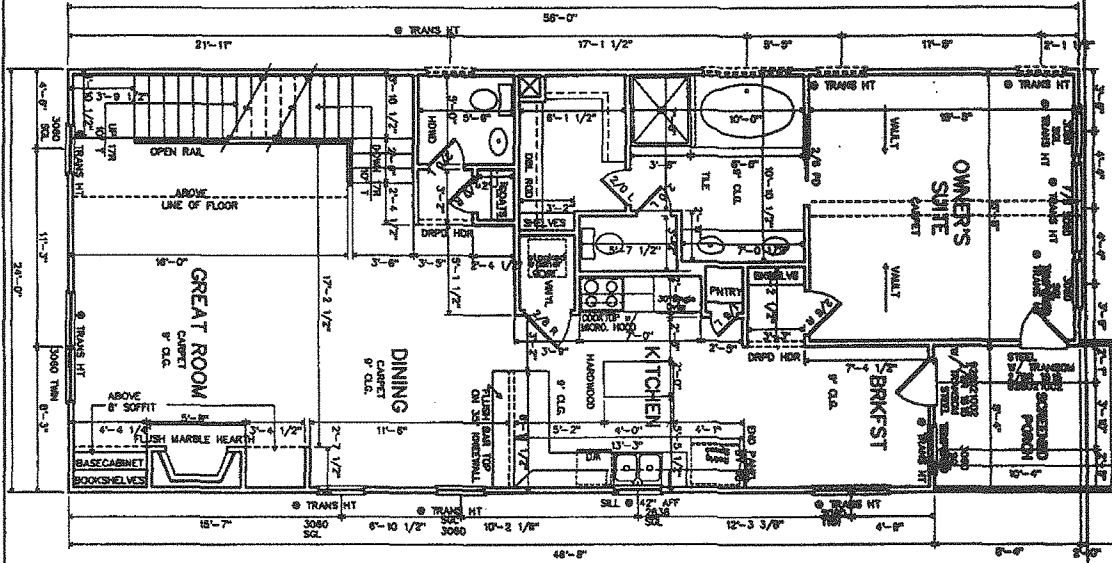
PLOT NAME: 3102
PLOT SCALE: 1/8"
PLOT DATE: 10-18-01

CHARLESTON
Egret's Walk 33
Siding Four Sides
Job Start Plot Date: 08.07.04
Drawn by: Paul Samerville
Checked by: Jeff Hamilton

REVISIONS
NO. DESCRIPTION
DATE

BKA 533PG702

C-58



0.00704 .05
ESTIMATE FOOTAGE EXIST
702 SF 2nd Floor
702 SF 3rd Floor
84 SF 4th Floor
172 SF TOTAL EXISTING

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

1/2" SHEETROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

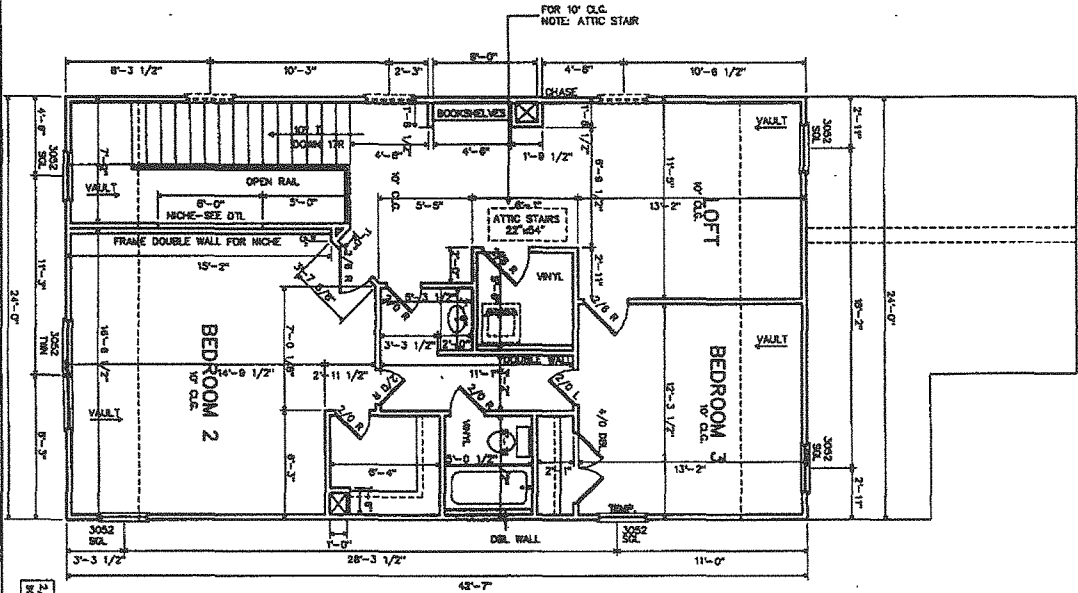
PLATE ONLY) WALLS (USE SINGLE TOP FL. TRUSSES ON INTERIOR CRITICAL: DO NOT BEAR

RIGHT-HAND DRIVE

PROJECT FILE.DCS GO TO VIEW	<p>JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400</p>	<p>CROFTON FIRST FLOOR PLAN</p> <p><small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be without, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A BUSINESS is hereby notified in the first paragraph of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>CHARLESTON</p> <p>Egret's Walk 33 Siding Four Sides</p> <p>Job Start Plot Order: 05.07.04 Drawn by: Pamel Somerville Checked by: Jeff Hamilton</p>	<p>RELATIONS</p> <p>OWNER</p> <p>ARCHITECT</p> <p>ENGINEER</p> <p>INSURANCE</p> <p>PERMITS</p> <p>CONTRACTOR</p>

BK A 533PG703

C-59



CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2-2x10 #2YP UNLESS OTHERWISE SPECIFIED.

PLATE ONLY! WALLS (USE SINGLE TOP FL. TRUSSES ON INTERIOR CRITICAL: DO NOT BEAR

RIGHT-HAND DRIVE

PROJECT FILES GO TO VIEW	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	CROFTON SECOND FLOOR PLAN <small>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1,000.00 reward is available to the first provider of information leading to the successful prosecution of a crime committed by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	PLOT SCALE: 1/8" = 1'-0" PLOT DATE: 12-18-02 PLOT TIME: 3:02	CHARLESTON Egret's Walk 33 Siding Four Sides Job Start Plot Date: 06-07-04 Drawn by: Patsy Sumerville Checked by: Jeff Hamilton	REVISIONS NO. DATE BY 01 12/18/02 JWH 02 01/10/03 JWH 03 02/10/03 JWH

BKA 533PG704

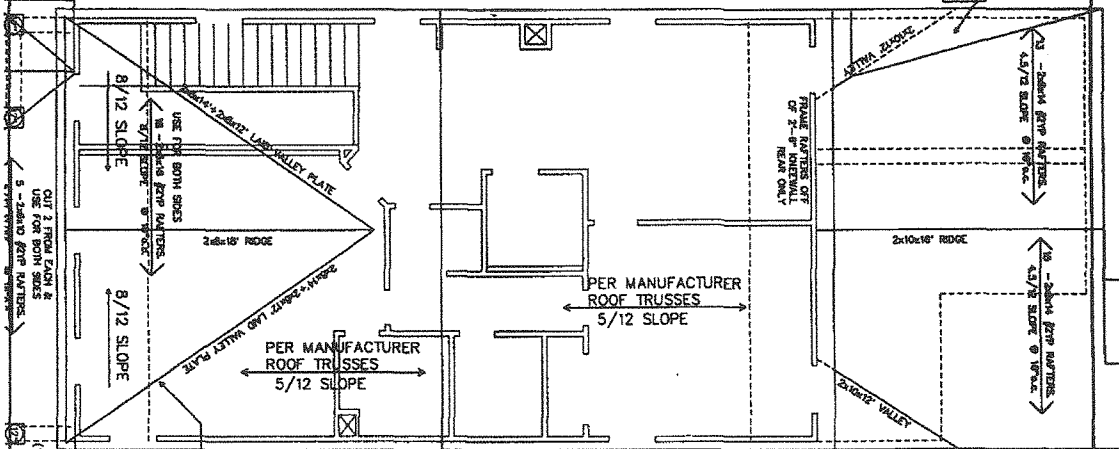
CUT 3 FROM EACH
10 - 2x6x10 #2YP RAFTERS
5/12 SLOPE @ 16" o.c.

CUT 2 FROM EACH
10 - 2x6x10 #2YP C/S
@ 16" o.c.

MAIN ROOF PER TRUSS SUPPLIER

OPTICAL CHECKLIST AS
REQUIRED PER UNIT OFFER
BLANKS TO VERIFY

C-60



FOR STANDARD FRAMING DETAILS
FRAMER NOTE: SEE FRAMER'S MANUAL

7/16" SHEATHING
ROOF SHEATHING

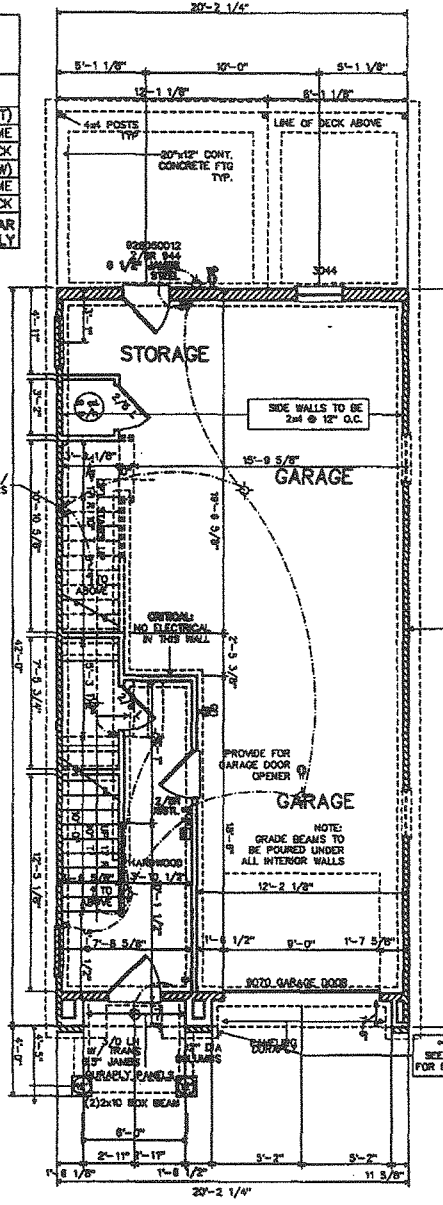
RIGHT-HAND DRIVE

PROJECT FILE.DCS GO TO VIEW	<i>John Wieland</i> JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)956-1400	CROFTON ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 record is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	LOT NAME: 3102	PLOT SCALE: 1/8"	PLOT DATE: 13-05-02	CHARLESTON		REVISIONS
						Egret's Walk 33 Siding Four Sides		
Sheet No.						Job Start Plot Date: 06.07.04	Drawn by: Penni Semerville	
						Checked by: Jeff Hamilton		

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.

ABOVE	2-STORY	2-STORY	THICKNESS (T)
			FRAME
			BRICK
			WIDTH (W)
			FRAME
			BRICK

ALL FOOTINGS TO HAVE 2-#6 REBAR LONGITUDINALLY.



ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS.

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES.

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL

NOTE: FLOOR SLEEVINGS SHALL BE 1/4" FLOOR REINFORCE R-10 BATT

PERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

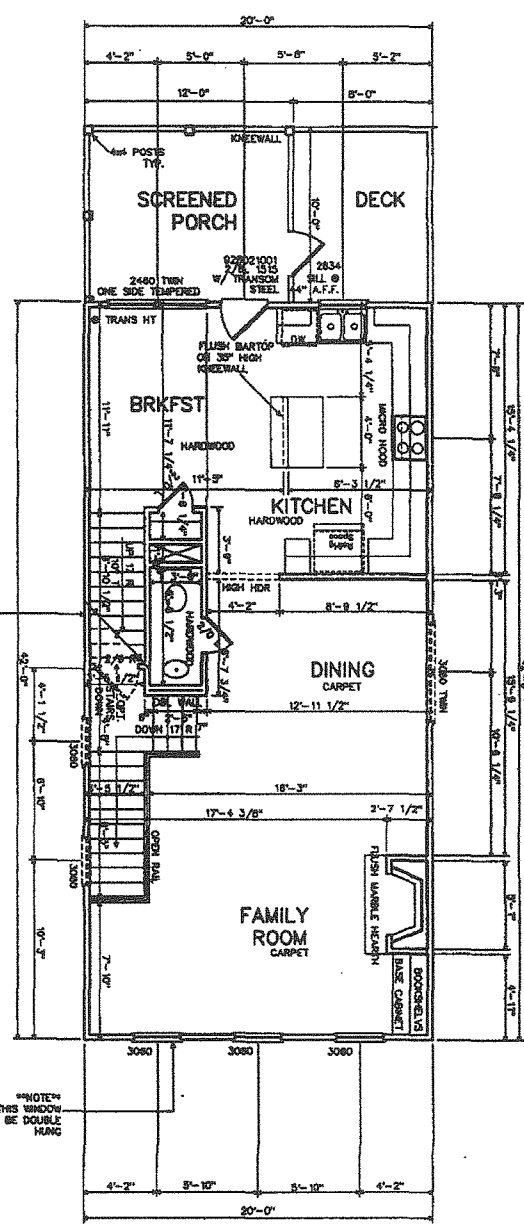
C-61

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILEDCS GO TO VIEW	<p>JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)995-1400</p>	<p>BULLOCH BASEMENT PLAN</p> <p>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</p>	<p>RIGHT-HAND DRIVE</p>	<p>CHARLESTON EGRET'S WALK 34</p>	<p>BRICK FND FRONT Job Start Plot Date: 08.07.04 drawn by: Pavel Starnes-Sie checked by: Jeff Hamilton</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>12.15.2001</td> <td>REVISED</td> </tr> <tr> <td>2</td> <td>01.15.2001</td> <td>REVISED</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	12.15.2001	REVISED	2	01.15.2001	REVISED
NO.			DATE	DESCRIPTION											
1	12.15.2001	REVISED													
2	01.15.2001	REVISED													
Sheet No.	<p>LOT SCALE: 1/8" = 1'-0"</p> <p>LOT DATE: 4-5-89</p> <p>LOT TIME: 10:50</p>	<p>PLAT NO. 10-50</p>	<p>PLAT DATE: 4-5-89</p>	<p>PLAT TIME: 10:50</p>	<p>PLAT NO. 10-50</p>										

C-62

NOTE: EXTEND BASEMENT STUDS & STAIRS TO TOP OF FLOOR JOISTS



ALL EXTERIOR HEADERS TO BE 2-2x10 #2YF UNLESS OTHERWISE SPECIFIED.

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

1/2" SHEETROCK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

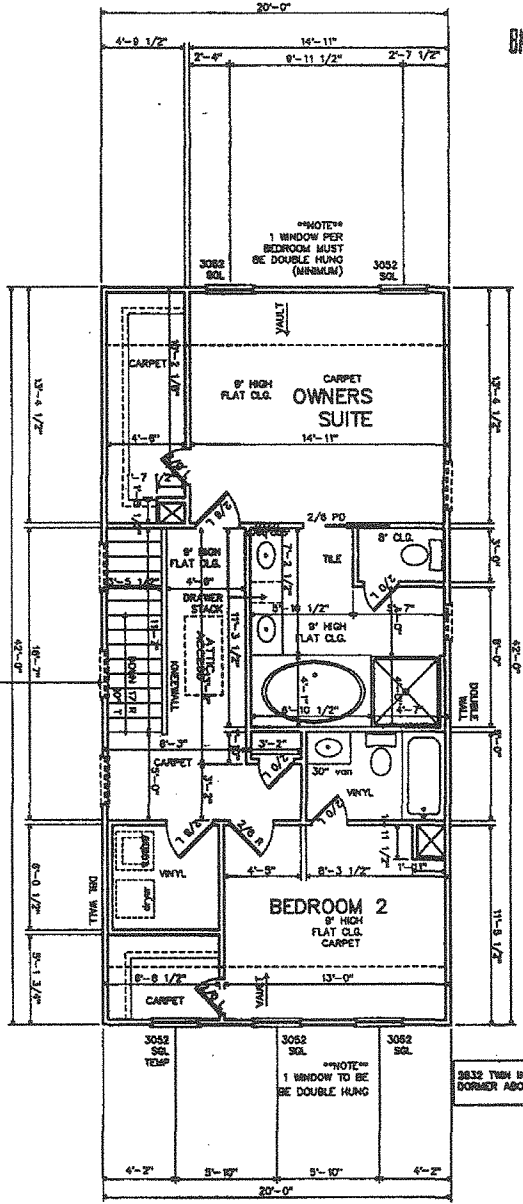
NOTE: THIS WINDOW TO BE DOUBLE HUNG

08/07/04	PS
FOUNDATION	QUANTITY
1st Floor	440 SF
2nd Floor	440 SF
3rd Floor	440 SF
4th Floor	440 SF
5th Floor	440 SF
6th Floor	440 SF
7th Floor	440 SF
8th Floor	440 SF
9th Floor	440 SF
10th Floor	440 SF

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILE.DCS GO TO VIEW	JOHN WIELAND HOMES, INC. 1930 Sullivan Road, Atlanta, Georgia 30337 (770)985-1400	BULLOCH 1ST FLOOR PLAN <small>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a crime made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 34 BRICK FND FRONT Job Start Plot Date: 08.07.04 drawn by: Penni Somerville checked by: Jeff Hamilton

BA 533PG707

C-63



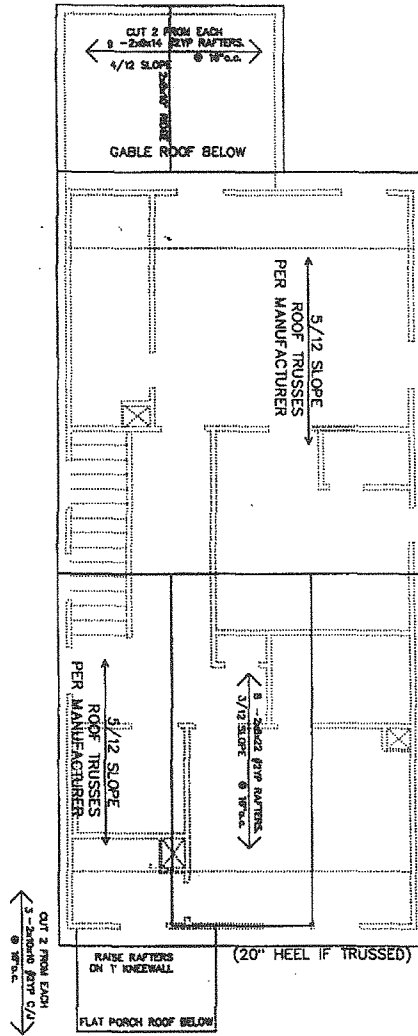
NOTE: EXTEND 1ST FLOOR STUDS @ STAIRS TO TOP OF FLOOR JOISTS

2032 TURN IN DORMER ABOVE

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILED/CDS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400	BULLOCH 2ND FLOOR PLAN <small>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 34
			BRICK FND FRONT Job Start Plot Dates: 08/07/04 drawn by: Paul Somerville checked by: Jeff Hemmitt

BKA 533PG708

C-604



ROOF SHEATHING
7/16" SHEATHING

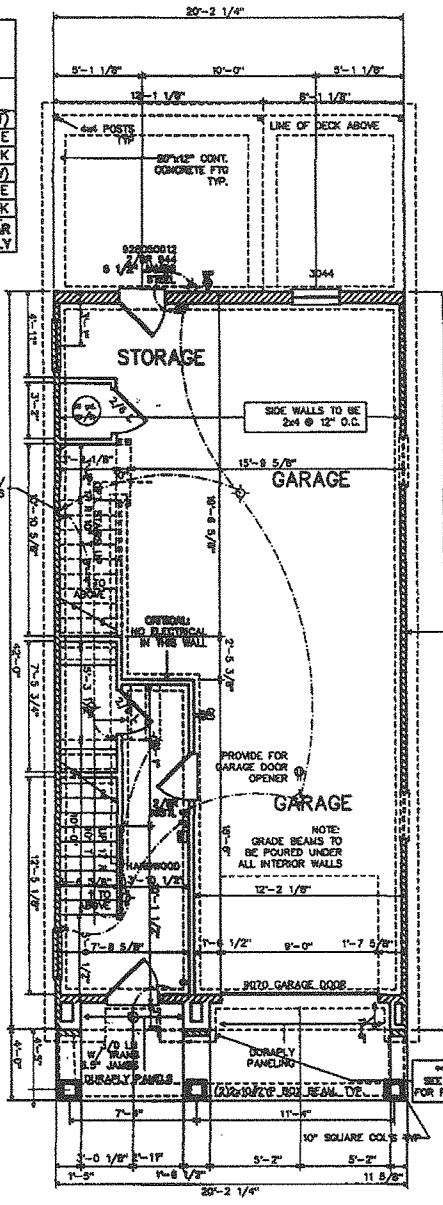
FRAMER NOTE: SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILEDCGS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)886-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1,000.00 reward is available to the first provider of information leading to the successful prosecution of a crime committed by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 34 BRICK FND FRONT Job Start Plot Date: 06.07.04 drawn by: Pami Somerville checked by: Jeff Hamilton
PLANT SCALE: 1/8"	LOT TIME: 02:50	PLANT DATE: 4-5-06	REVISIONS NO. DATE BY 1 06/07/04 Pami Somerville 2 06/07/04 Pami Somerville 3 06/07/04 Pami Somerville

FOOTING DIMENSION BASED ON SOIL BEARING CAPACITY OF 2000 PSF.

ABOVE	2-STORY	2-STORY	THICKNESS (T)
			FRAME
			BRICK
WIDTH (W)			
			FRAME
			BRICK

ALL FOOTINGS TO HAVE 2-#5 REBAR LONGITUDINALLY



ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

NOTE: FLOOR SEPARATORS 5/8" @ 3/4" TAG FLOOR INSULATION R-19 BATT

NOTE: SIDE WALLS ARE LOAD BEARING SEE FOOTING DETAIL

PERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

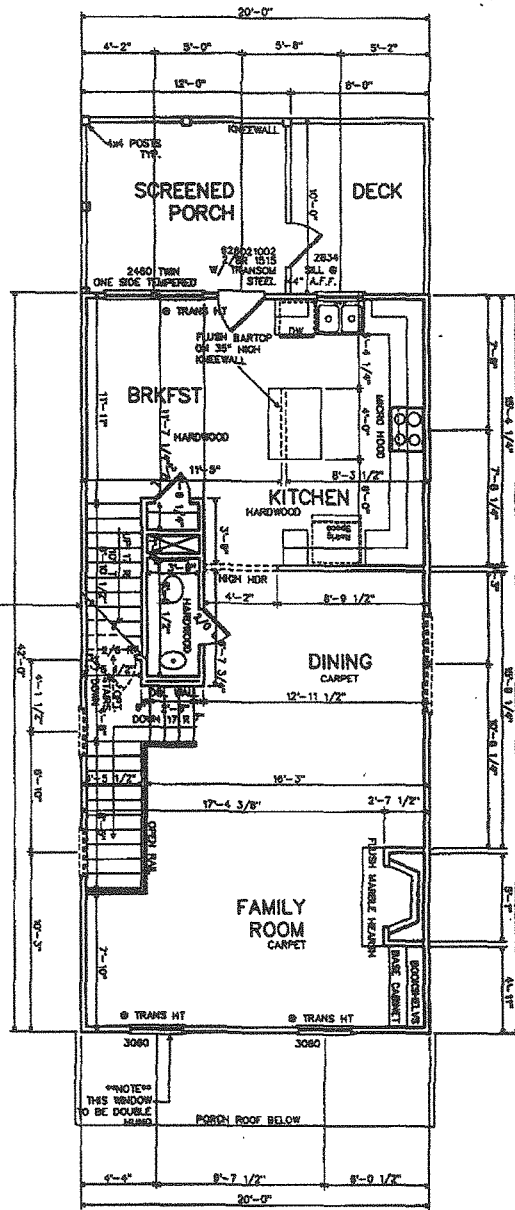
C-165

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

RIGHT-HAND DRIVE

PROJECT FILE/DCS GO TO VIEW	<i>John Wieland</i> JOHN WIELAND HOMES, INC. 1930 Sullivan Road, Atlanta, Georgia 30337 (770)986-1400	BULLOCH BASEMENT PLAN Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.	PLAT SCALE: 1/8" = 1'-0" PLAT DATE: 4-5-98 PLAT TITLE: 10-28	CHARLESTON EGRET'S WALK 35 BRICK FND FRONT Job Start Plat Date: 06.07.04 drawn by: Penel Somerville checked by: Jeff Hamilton	REVISIONS NO. DATE BY 1 10/1/01 2 10/1/01 3 10/1/01 4 10/1/01 5 10/1/01 6 10/1/01 7 10/1/01 8 10/1/01 9 10/1/01 10 10/1/01
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BKA 533PG710



ALL EXTERIOR HEADERS TO BE 2x10 #2YP UNLESS OTHERWISE SPECIFIED.

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

1/2" SHEETROCK & INSULATION ON GABLE CEILING AND COMMON WALLS WITH HANGERS.

NOTE: EXTEND BASEMENT STUDS @ STAIRS TO TOP OF FLOOR JOISTS

NOTE: THIS WINDOW TO BE DOUBLE HUNG

QUANTITY		PRICE		TOTAL	
1	1/2" SHEETROCK	100.00	100.00	100.00	100.00
1	INSULATION	100.00	100.00	100.00	100.00
1	1/2" SHEETROCK	100.00	100.00	100.00	100.00
1	INSULATION	100.00	100.00	100.00	100.00
1	1/2" SHEETROCK	100.00	100.00	100.00	100.00
1	INSULATION	100.00	100.00	100.00	100.00
1	1/2" SHEETROCK	100.00	100.00	100.00	100.00
1	INSULATION	100.00	100.00	100.00	100.00
1	1/2" SHEETROCK	100.00	100.00	100.00	100.00
1	INSULATION	100.00	100.00	100.00	100.00

C-66

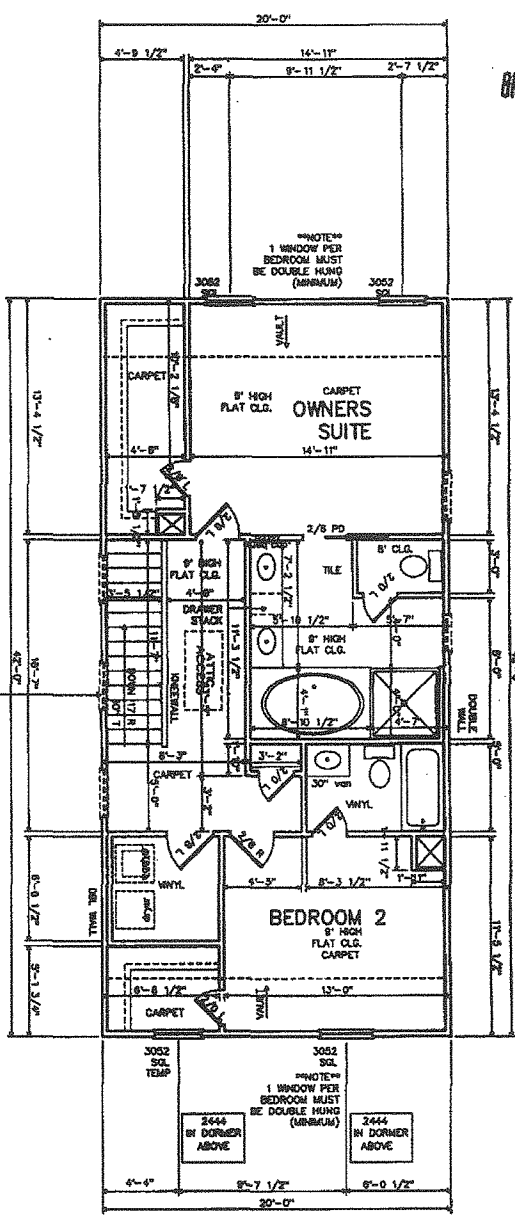
THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

RIGHT-HAND DRIVE

<p>PROJECT FILED TO GO TO VIEW</p>	<p>BULLOCH 1ST FLOOR PLAN</p> <p>JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</p>	<p>DATE: 08.07.04 DRAWN BY: P. Somerville CHECKED BY: J. Hamilton</p>
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BKA 533PG711

C-67

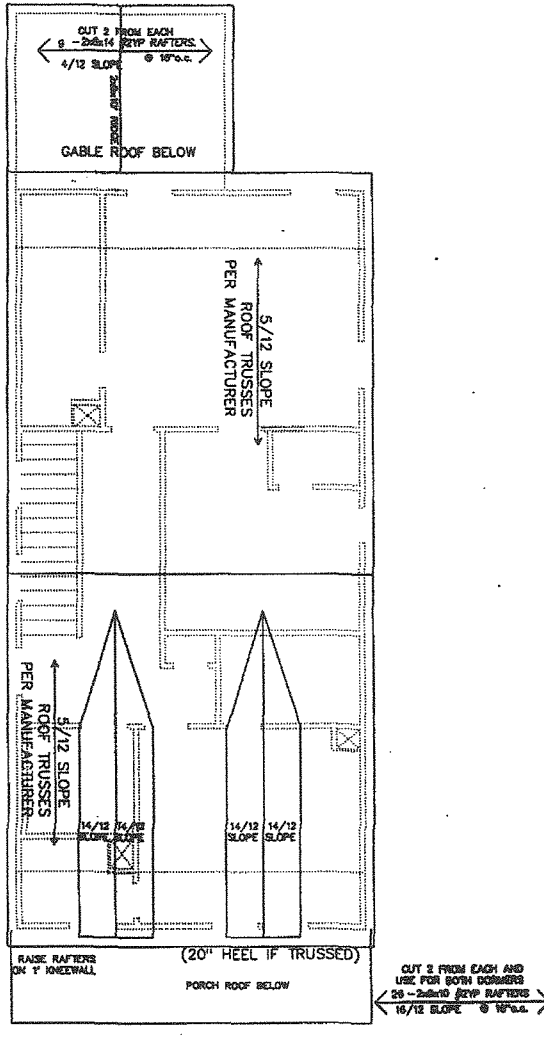


NOTE: EXTEND 1ST FLOOR STUDS & STAIRS TO TOP OF FLOOR JOISTS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE																																		
PROJECT FILE NO. GO TO VIEW	<p>JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400</p>	<p>BULLOCH 2ND FLOOR PLAN</p> <p><small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a crime made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small></p>	<p>CHARLESTON EGRET'S WALK 35</p> <p>BRICK FND FRONT Job Start Plan Date: 08.07.04 Drawn by: Parcel Supervisor Checked by: Jeff Hamilton</p>																																	
DATE		LOT SCALE: 1/8" = 1'-0"	LOT AREA: 16,539	<p>REVISIONS</p> <table border="1"> <tr><td>NO.</td><td>DATE</td><td>DESCRIPTION</td></tr> <tr><td>1</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>2</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>3</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>4</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>5</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>6</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>7</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>8</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>9</td><td></td><td>ISSUED FOR PERMITS</td></tr> <tr><td>10</td><td></td><td>ISSUED FOR PERMITS</td></tr> </table>	NO.	DATE	DESCRIPTION	1		ISSUED FOR PERMITS	2		ISSUED FOR PERMITS	3		ISSUED FOR PERMITS	4		ISSUED FOR PERMITS	5		ISSUED FOR PERMITS	6		ISSUED FOR PERMITS	7		ISSUED FOR PERMITS	8		ISSUED FOR PERMITS	9		ISSUED FOR PERMITS	10	
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BKA 533P6712

C-68



ROOF SHEATHING
7/8" SHEATHING

FRAMER NOTE: SEE FRAMERS MANUAL
FOR STANDARD FRAMING DETAILS

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

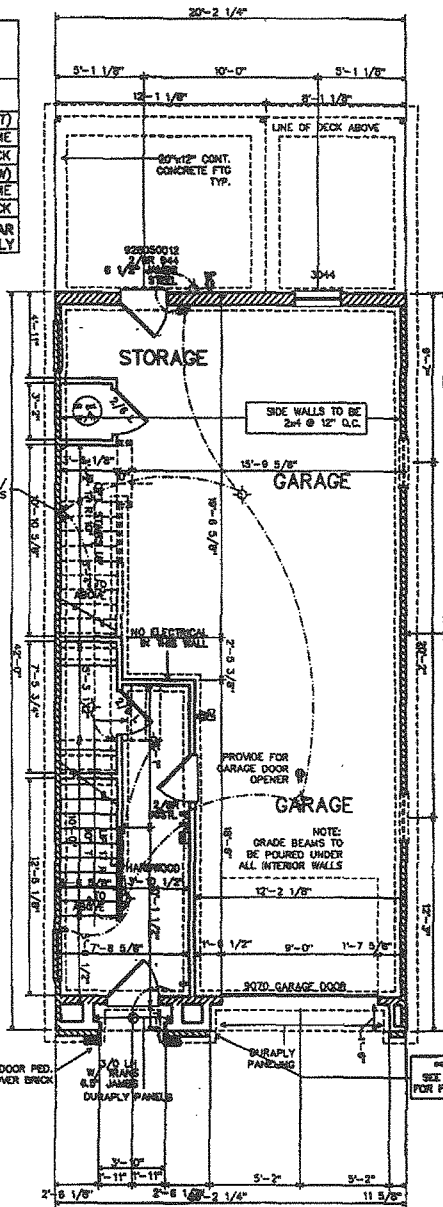
RIGHT-HAND DRIVE

PROJECT PLEADS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)898-1400	BULLOCH ROOF FRAMING <small>© Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	PLOT DATE: 4-5-00 PLOT TIME: 10:30	PLOT SCALE: 1/8" = 1'-0"	CHARLESTON EGRET'S WALK 35 BRICK FND FRONT Job Start Plot Date: 06/07/04 drawn by: Pascal Gonzalez checked by: Jeff Hamilton	REVISIONS 1 2 3 4 5 6 7 8 9 10
10 - 2x6@14 TYPE RAFTERS 5/12 SLOPE @ 16" o.c. CUT 2 FROM EACH 10 - 2x6@14 TYPE C/L @ 16" o.c.						

FOOTING DIMENSION
BASED ON SOIL BEARING
CAPACITY OF 2000 PSF.

ABOVE	2-STORY	2-STORY
THICKNESS (T)		
10"	10"	FRAME
12"	12"	BRICK
WIDTH (W)		
17"	15"	FRAME
23"	19"	BRICK

ALL FOOTINGS TO HAVE 2-#5 REBAR
LONGITUDINALLY.



ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND SHALL BE ALARMS IN ALL SLEEPING AREAS

ELECTRICAL INSTALLATION IS TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES

NOTE: FOOTING ASSUME MIN. SOIL BEARING OF 2000 PSF

CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

NOTE: FLOOR SHEATHING 5/8" OR 3/4" T&G FLOOR INSULATION 1/2" @ 16" ONT.

TERMITE TREATMENT REQUIRED BENEATH ALL SLABS.

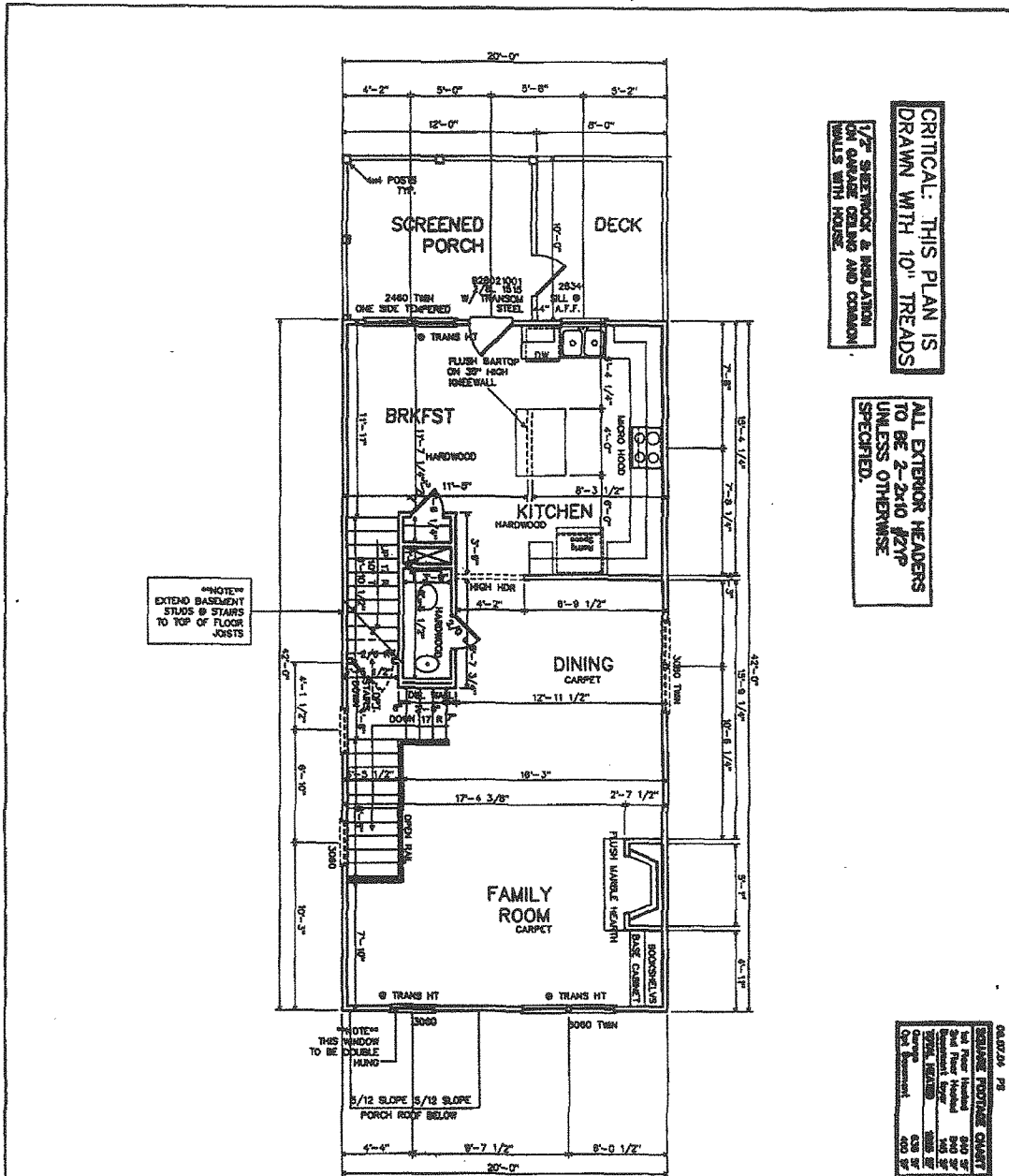
C-69

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILEDCS 00 TO VIEW	<i>John Wieland</i> JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)898-1400	BULLOCH BASEMENT PLAN Copyright ©2011 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$100.00 reward is credited to the first provider of information leading to the successful prosecution of a crime noted by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.	RIGHT-HAND DRIVE	CHARLESTON EGRET'S WALK 36 BRICK FND FRONT Job Start Plot Date: 08.07.04 drawn by: Pascal Gamarville checked by: Jeff Hamilton	REVISIONS
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BKA 533PG714

C-70



CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS
1/2" SWEETWORK & INSULATION ON GARAGE CEILING AND COMMON WALLS WITH HOUSE.

ALL EXTERIOR HEADERS TO BE 2-2x10 J2P UNLESS OTHERWISE SPECIFIED.

NOTE: EXTEND BASEMENT STUDS & STAIRS TO TOP OF FLOOR JOISTS

04.07.04 PB	BRICK	400 SF
04.07.04 PB	CONCRETE	400 SF
04.07.04 PB	WOOD	400 SF
04.07.04 PB	GLASS	400 SF
04.07.04 PB	STEEL	400 SF
04.07.04 PB	PLASTER	400 SF
04.07.04 PB	PAINT	400 SF
04.07.04 PB	CEILING	400 SF
04.07.04 PB	FLOORING	400 SF
04.07.04 PB	MECHANICAL	400 SF
04.07.04 PB	ELECTRICAL	400 SF
04.07.04 PB	PLUMBING	400 SF
04.07.04 PB	LANDSCAPE	400 SF
04.07.04 PB	EXTERIOR	400 SF
04.07.04 PB	INTERIOR	400 SF
04.07.04 PB	FOUNDATION	400 SF
04.07.04 PB	ROOFING	400 SF
04.07.04 PB	INSULATION	400 SF
04.07.04 PB	MECHANICAL	400 SF
04.07.04 PB	ELECTRICAL	400 SF
04.07.04 PB	PLUMBING	400 SF
04.07.04 PB	LANDSCAPE	400 SF
04.07.04 PB	EXTERIOR	400 SF
04.07.04 PB	INTERIOR	400 SF
04.07.04 PB	FOUNDATION	400 SF
04.07.04 PB	ROOFING	400 SF
04.07.04 PB	INSULATION	400 SF

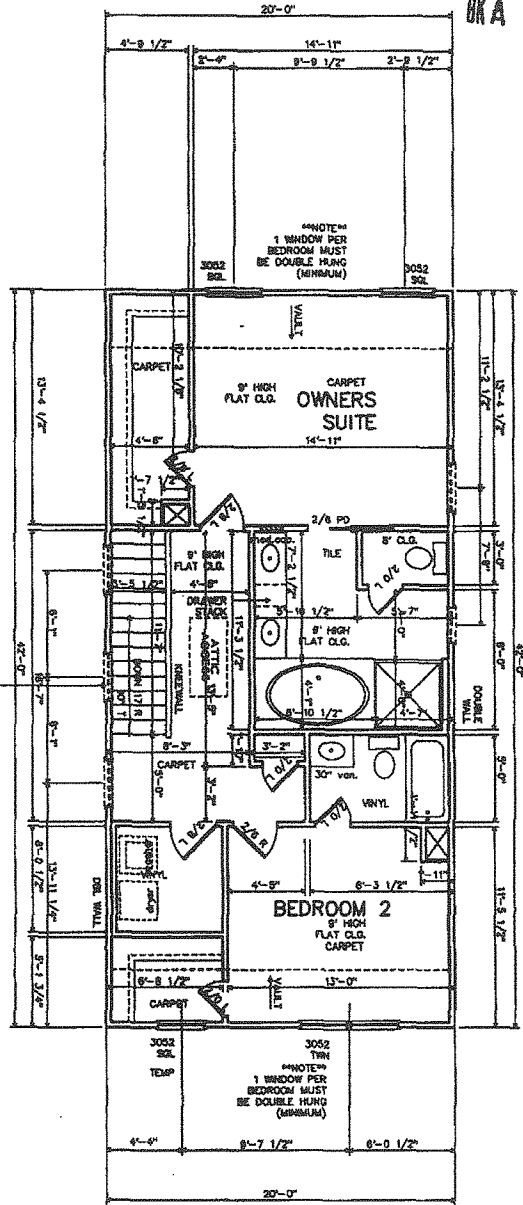
THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:

PROJECT FILED/CS GO TO VIEW	<p>JOHN WIELAND HOMES, INC. 1950 Sullivan Road, Atlanta, Georgia 30337 (770)998-1400</p>	<p>BULLOCH 1ST FLOOR PLAN</p> <p>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be utilized, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a crime named by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</p>	<p>RIGHT-HAND DRIVE</p> <p>CHARLESTON</p> <p>EGRET'S WALK 36</p> <p>BRICK FND FRONT</p> <p>Job Start Plot Date: 03.07.04 drawn by: Patti Samerville checked by: Jeff Hamilton</p>
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AK A 533PG715


C-71

NOTE: EXTEND 1ST FLOOR STUDS & STAIRS TO TOP OF FLOOR JOISTS



CRITICAL: THIS PLAN IS DRAWN WITH 10" TREADS

ALL EXTERIOR HEADERS TO BE 2-2x10 #21P UNLESS OTHERWISE SPECIFIED.

THIS PLAN INCORPORATES THE FOLLOWING PLAN OPTIONS:		RIGHT-HAND DRIVE	
PROJECT FILE.DCS GO TO VIEW	 JOHN WIELAND HOMES, INC. 1850 Sullivan Road, Atlanta, Georgia 30337 (770)996-1400	BULLOCH 2ND FLOOR PLAN <small>Copyright 2001 John Wieland Homes and Neighborhoods, Inc. All rights reserved. No portion of this document may be copied, in whole or in part, without the prior written permission of John Wieland Homes and Neighborhoods, Inc. A \$1000.00 reward is available to the first provider of information leading to the successful prosecution of a claim made by John Wieland Homes and Neighborhoods, Inc. for copyright infringement.</small>	CHARLESTON EGRET'S WALK 36 BRICK FND FRONT Job Start Plot Date: 08.07.04 drawn by: Pascal Sarravalle checked by: Jeff Hamblen